

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
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*Si necesita ayuda para comprender esta información, por favor llame
503-588-6173.*

DECISION OF THE PLANNING COMMISSION

**CLASS 3 DESIGN REVIEW / CLASS 3 SITE PLAN REVIEW CASE NO.
DR-SPR16-03**

APPLICATION NOS.: 16-113063-DR & 16-113061-RP

NOTICE OF DECISION DATE: SEPTEMBER 9, 2016

APPLICATION SUMMARY: A request for Design Review and Site Plan Review approval to allow development of an 88-unit multi-family use on the subject property.

REQUEST: A proposed Class 3 Design Review and Class 3 Site Plan Review, to allow development of an 88-unit apartment complex, for proposed parcel size of approximately 4.23 acres, zoned CR (Retail Commercial), and located at 152-172 Pembroke Street SE and 4752 Liberty Road S - 97302 (Marion County Assessor's Map and Tax Lot numbers: 083W09DB / 04000, 04200, 04300, and 04400).

APPLICANT: PEMBROOK LLC (DAVID MONTAGNE & ADAM HUSKEY)

LOCATION: 152-172 PEMBROOK ST SE & 4752 LIBERTY RD S / 97302

CRITERIA: Class 3 Design Review: 225.005(e)(2)
Class 3 Site Plan Review: 220.005(f)(3)

FINDINGS: The findings are in the attached staff report dated September 6, 2016.

DECISION: The Planning Commission **GRANTED** Class 3 Design Review / Class 3 site Plan Review Case No. DR-SPR16-03 for development of an 88-unit multi-family use for property located at 152-172 Pembroke Street SE and 4752 Liberty Road S - 97302 subject to the following amended conditions of approval:

~~**Condition 1:** Additional window areas shall be incorporated into the design for Building 1 and Building 4 so that windows are provided in all habitable space facing common open space and parking areas.~~

Condition 2 1: Provide a marked crosswalk to lead pedestrians through the vehicle use area from the gate at the main entrance into the site.

Condition 3 2: Provide a minimum of two shade trees adjacent to the parking spaces abutting Pembroke Street SE.

Condition 4 3: Prior to issuance of building permit, a Property Boundary Verification application shall be approved and recorded with Marion County which defines the outside boundary of the subject property.

Condition 5 4: The proposed vehicle use area adjacent to the dental clinic on the northwest portion of the site shall be setback a minimum of 10 feet.

VOTE:

Yes 8 No 0 Absent 1 (Palmateer)


Rich Fry, President
Salem Planning Commission

The rights granted by the attached decision must be exercised, or an extension granted, as follows or this approval shall be null and void:

Class 3 Design Review: September 27, 2018

Class 3 Site Plan Review: September 27, 2020

Application Deemed Complete: August 11, 2016

Public Hearing Date: September 6, 2016

Notice of Decision Mailing Date: September 9, 2016

Decision Effective Date: September 27, 2016

State Mandate Date: December 9, 2016

Case Manager: Aaron Panko, APanko@cityofsalem.net

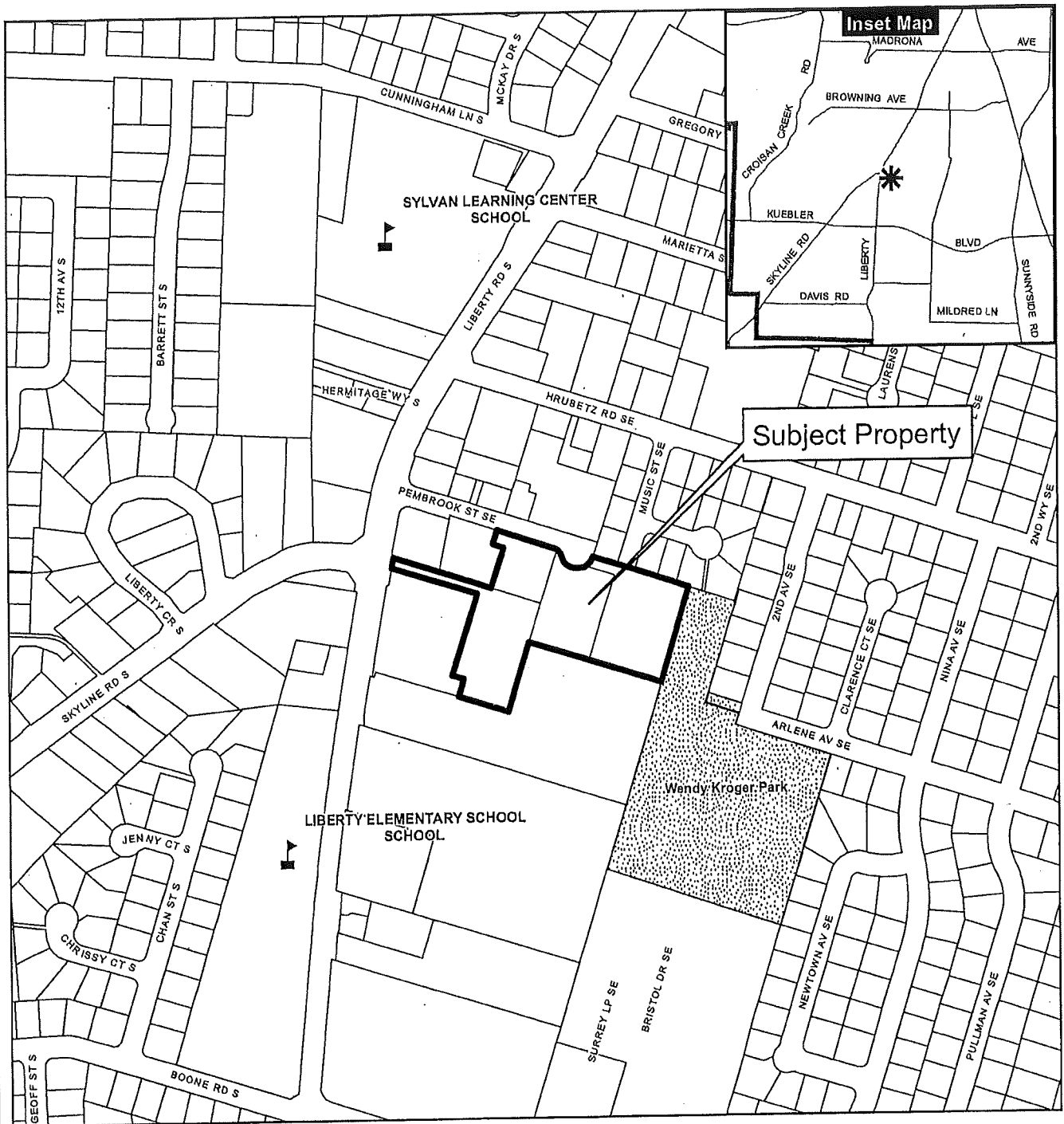
This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, **no later than 5:00 p.m., SEPTEMBER 26, 2016.** Any person who presented evidence or testimony at the hearing may appeal the decision. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section in SRC Chapters 220 and 225. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The City Council will review the appeal at a public hearing. After the hearing, the City Council may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

Vicinity Map

152-172 Pembroke Street SE, and 4752 Liberty Road S



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks

0 100 200 400 Feet



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Community Development Dept.

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TO: PLANNING COMMISSION

FROM: LISA ANDERSON-OGILVIE, AICP
PLANNING ADMINISTRATOR

SUBJECT: DESIGN REVIEW – SITE PLAN REVIEW CASE NO. 16-03; 152-172
PEMBROOK STREET SE AND 4752 LIBERTY ROAD S
AMANDA NOS. 16-113063-DR & 16-113061-RP

REQUEST

Summary: A request for Design Review and Site Plan Review approval to allow development of an 88-unit multi-family use on the subject property.

Request: A proposed Class 3 Design Review and Class 3 Site Plan Review, to allow development of an 88-unit apartment complex, for proposed parcel size of approximately 4.23 acres, zoned CR (Retail Commercial), and located at 152-172 Pembroke Street SE and 4752 Liberty Road S - 97302 (Marion County Assessor's Map and Tax Lot numbers: 083W09DB / 04000, 04200, 04300, and 04400).

OWNER: David A. Montagne, Pembroke LLC

APPLICANT/FILER: Brandie Dalton, Multi-Tech Engineering

RECOMMENDATION

Based upon the Facts and Findings contained in this staff report, staff recommends that the Planning Commission GRANT the request for a consolidated design review and site plan review for an 88-unit apartment complex for property located at 152-172 Pembroke Street SE and 4752 Liberty Road S subject to the following conditions of approval:

- Condition 1:** Additional window areas shall be incorporated into the design for Building 1 and Building 4 so that windows are provided in all habitable space facing common open space and parking areas.
- Condition 2:** Provide a marked crosswalk to lead pedestrians through the vehicle use area from the gate at the main entrance into the site.
- Condition 3:** Provide a minimum of two shade trees adjacent to the parking spaces abutting Pembroke Street SE.
- Condition 4:** Prior to issuance of building permit, a Property Boundary Verification application shall be approved and recorded with Marion County which defines the outside boundary of the subject property.
- Condition 5:** The proposed vehicle use area adjacent to the dental clinic on the northwest portion of the site shall be setback a minimum of 10 feet.

BACKGROUND

The subject property is a remainder of the former Stayton Cannery site. In 1997, the Planning Commission approved a Comprehensive Plan Change, Neighborhood Plan Change and Zone Change (CPC/NPC/ZC 97-23) for the subject property from Industrial to Commercial subject to conditions of approval.

In 2006, the Liberty Crossing Subdivision (SUB 06-28) was approved dividing the property into 6 lots. The subject property includes lots 2, 4, 5, and 6 of the Liberty Crossing Subdivision.

In 2015, a consolidated Zone Change and Conditional Use Permit application (ZC-CU15-03) was submitted requesting to eliminate a use limitation condition from CPC/NPC/ZC 97-23, as well as a request to develop the subject property with a multi-family residential use. ZC-CU15-03 was granted subject to conditions of approval.

On July 12, 2016, design review and site plan review applications were submitted to develop the subject property with an 88-unit multi-family residential use. After receiving additional information, and a statement from the applicant that pursuant to ORS 227.178(2) all needed information has been provided, the applications were deemed complete for processing on August 11, 2016.

The public hearing before the City of Salem Planning Commission is scheduled for September 6, 2016, at 5:30 p.m. in the Salem City Council Chambers, Civic Center Room 240, located at 555 Liberty Street SE. Notice of public hearing was sent by mail to surrounding property owners pursuant to Salem Revised Code (SRC) requirements on August 17, 2016. Public hearing notice was also posted on the property by the applicant pursuant to SRC requirements.

PROPOSAL

The applicant has submitted Design Review and Site Plan Review applications for development of an 88-unit multi-family use for property located at 152-172 Pembroke Street SE and 4752 Liberty Street SE (Attachment A).

APPLICANT'S PLANS AND STATEMENT

The applicant's proposed site plan and building plans are included as Attachment B, and the applicant's statement addressing the applicable approval criteria for the consolidated request is included as Attachment C.

FACTS AND FINDINGS

1. Salem Area Comprehensive Plan (SACP) designation

The Salem Area Comprehensive Plan (SACP) map designation for the subject property is "Commercial". The subject property is within the Urban Growth Boundary and is within the Urban Service Area.

2. Zoning and Surrounding Land Uses

The subject property is zoned CR (Retail Commercial). Multi-family residential uses are allowed in the CR zone with a conditional use permit.

SRC Chapter 240 provides that no building, structure, or land shall be used or developed for any use which is designated as a conditional use in the UDC unless a conditional use permit has been granted pursuant to this Chapter.

A conditional use permit (ZC-CU15-03) has been granted to allow the subject property to be developed with a multi-family use subject to conditions of approval.

The zoning of surrounding properties includes:

North: Pembroke Street SE and Music Street SE, RS (Single Family Residential) – Single Family Dwellings
East: RS (Single Family Residential) – Wendy Kroger Park
South: IP (Industrial Park) – Self-Service Storage
West: CR (Retail Commercial) – Dental Office and Walgreens

3. Site Analysis

The subject property is approximately 4.23 acres in size and is currently vacant.

The subject property has frontage along Liberty Road S, which is designated as a Major Arterial in the Salem Transportation System Plan (TSP) and Pembroke Street SE, which is designated as a local street. Music Street SE abuts the property to the north; however, no vehicle access will be provided to the proposed development from this local street.

Wendy Kroger Park (former Cannery Park) abuts the property to the east.

4. Neighborhood and Citizen Comments

The subject property is located within the Faye Wright Neighborhood Association. Notice was provided to Faye Wright and surrounding property

owners within 250 feet of the subject property. No comments were received from Faye Wright or surrounding property owners during the public comment period.

5. City Department and Public Agency Comments

The Building and Safety Division reviewed the proposal and indicated no concerns.

The Fire Department commented that they have no issues with the site plan review, however, the Fire Department will have requirements when plans are submitted for permitting, i.e. Fire Hydrants, Fire Lanes, Sprinkler, Alarms, etc.

The Public Works Department has reviewed the proposal and provided a memo included as Attachment D.

6. Analysis of Class 3 Design Review Criteria

SRC Chapter 225.005(e)(2) provides that:

A Class 3 Design Review shall be approved if all of the applicable design review guidelines are met.

SRC 702.010 provides that multiple family developments shall comply with all of the applicable design review guidelines set forth in SRC Chapter 702.

Open Space Design Review Guidelines and Standards

702.015(b)(1) – Common Open Space

(A) A variety of open space areas of sufficient size shall be provided for use by all residents.

Finding: The proposed apartment complex includes a variety of open space areas available for residents including an outdoor adult recreation area, pool, recreation building and other open landscaped areas around the site. The proposal complies with this design guideline.

(B) Common open space shall be distributed around buildings and throughout the site.

Finding: Common open space areas are provided throughout the site. The proposal complies with this design guideline.

(C) The amount of perimeter setbacks used for common open space shall be minimized.

Finding: A variety of common open space areas are provided which are

outside of the perimeter setback areas. Approximately 48 percent (83,551 square feet) of the site is open space, with approximately 30 percent (25,307 square feet) of the open space area falling outside of the perimeter setback. The common open space provided is sufficient to meet the corresponding design standard (SRC 702.015(b)(2)(A)(i)), and complies with this design guideline.

702.015(c)(1) – Children's Play Areas and Adult Recreation Areas

- (A) A variety of common open area opportunities shall be provided for enjoyment by all residents.

Finding: A 2,000 square foot designated open space area is provided as part of the common open space for the development site. In addition, a pool and recreation building will be provided to serve the residents. The open space areas provided are sufficient to meet the corresponding design standard (SRC 702.015(c)(2)(A)), and complies with this design guideline.

- (B) Children's play and/or adult recreation areas shall be located centrally within the development.

Finding: The proposed recreation building, pool and open space area are provided in a central location to the development. The location for the open space areas are sufficient to meet the corresponding design standard (SRC 702.015(c)(2)(B)), and complies with this design guideline.

- (C) Children's play areas, if provided, shall be located in a manner to incorporate safety into the design by including such things as locating play areas to be visible from dwelling units, locating play areas away from physical barriers such as driveways and parking areas, and selection of play equipment with safe designs.

Finding: A children's play area is not provided for this development, therefore this guideline is not applicable.

702.015(d)(1) – Private Open Space.

- (A) Individual private open space shall be provided for each dwelling unit in all newly constructed multiple family developments.

Finding: Each of the proposed dwelling units is provided with a private open space area. Patios are provided for the ground floor units, and decks are provided for the second and third floor units. The private open space area is sufficient to comply with the corresponding design standard (SRC 702.015(d)(2)(A), Table 702-3), and complies with this design guideline.

- (B) Private open space shall be easily accessible from the dwelling unit.

Finding: Private open space areas are accessible from each dwelling unit. Access to the private open space for each unit is sufficient to comply with the corresponding design standards (SRC 702.015(d)(2)(B)), and complies with this design guideline.

- (C) If private open space is located adjacent to common open space, a buffer between the two open space areas shall be provided.

Finding: Fencing and landscaping are used to provide a buffer between all ground floor private open space areas where adjacent to common open space. The buffer provided is sufficient to comply with the corresponding design standard (SRC 702.015(d)(2)(C)), and complies with this design guideline.

Landscaping Design Review Guidelines and Standards

702.020(b)(1) – General Landscaping

- (A) A variety of tree types shall be distributed throughout the site to maximize tree canopy.

Finding: The corresponding design standard requires a minimum of one tree per 2,000 square feet of gross site area. For the subject property, a minimum of 92 trees are required. The applicant's preliminary landscape plan indicates that 95 trees will be distributed throughout the development site. The number of trees provided complies with the corresponding design standard (SRC 702.020(b)(2)(A)), and complies with this design guideline.

- (B) Landscaping shall be used to shield the site from winter winds and summer sun.

Finding: Trees and shrubs will be distributed throughout the development site to provide shade during the summer and to shield from winter winds.

- (C) Existing trees shall be preserved to the maximum extent possible.

Finding: There are no existing mature trees on the subject property to preserve. This guideline is not applicable for this development site.

- (D) Where a development site abuts property zoned Residential Agriculture (RA) or Single Family Residential (RS), an appropriate combination of landscaping and screening shall be provided that is sufficient to buffer between the multiple family development and the abutting RA or RS zoned property.

Finding: The subject property is adjacent to a RS zone to the north. As a condition of approval per ZC-CU15-03, the applicant is required to provide an

8-foot-tall, decorative, sight-obscuring fence or wall adjacent to the abutting RS zone to the north. The fence or wall shall be constructed of materials commonly used in the construction of fences and walls, such as wood, stone, rock, brick, or other durable materials. Chain link fencing with slats shall not be allowed to satisfy this condition. In addition, a condition of approval from ZC-CU15-03 requires trees planted adjacent to the RS zone to be not less than 12 feet in height at the time of planting.

The applicant is proposing an 8-foot-tall decorative sight obscuring fence, as well as landscaping and trees in compliance with the conditions of approval from ZC-CU15-03, and sufficient to meet the corresponding design standard (SRC 702.020(b)(2)(D)). The proposed screening complies with this design guideline.

702.020(c)(1) – Street Frontage

- (A) The residential character of the site shall be enhanced with trees planted within the public right-of-way.

Finding: The subject property has approximately 315 feet of frontage along Pembroke Street SE. The corresponding design standard requires a minimum of one shade tree per 50 linear feet of street frontage, requiring a minimum of 6 shade trees. The preliminary landscaping plan shows 7 shade trees to be planted approximately every 40 feet. The trees provided are sufficient to meet the corresponding design standard (SRC 702.020(c)(2)(A)), and complies with this design guideline.

702.020(d)(1) – Building Exteriors

- (A) Landscaping shall be planted to define and accentuate the primary entry way of each dwelling unit, or combination of dwelling units.

Finding: A minimum of 2 plant units of landscaping are provided at the common entry way for each of the proposed apartment buildings. The amount of landscaping provided at the primary entry way of each dwelling unit is sufficient to meet the corresponding design standard (SRC 702.020(d)(2)(A)), and complies with this design guideline.

- (B) Vertical and horizontal landscape elements shall be provided along all exterior walls to soften the visual impact of buildings and create residential character.

Finding: The preliminary landscape plan indicates that a variety of trees and shrubs will be provided around the exterior walls of the proposed buildings at a level that complies with the corresponding design standards (SRC Chapter 702.020(d)(2)(B) and (C)), and complies with this design guideline.

702.020(e)(1) – Privacy

- (A) Landscaping, or a combination of landscaping and fencing, shall be used to buffer the multiple family development from abutting properties.

Finding: A minimum 10 foot wide landscaped setback area is provided around the majority of the site, except where the property abuts a RS zone where a greater landscaped setback is provided. The landscaped setback provided complies with the minimum requirements of the zoning code and the conditions placed on the conditional use permit approval (ZC-CU15-03). The landscaping and fencing provided complies with this design guideline.

- (B) Landscaping shall be used to enhance the privacy of dwelling units. Methods may include fencing in combination with plant units.

Finding: The corresponding design standard requires ground level private open space to be physically and visually separated from common open space areas using landscaping or fencing. Ground floor private open space areas are provided with a combination of fencing and/or landscaping to separate and define the private open space areas from common open space. The proposed site plan complies with the corresponding design standard (SRC 702.020(e)(2)(A)), and complies with this design guideline.

702.020(f)(1) – Parking Areas

- (A) Canopy trees shall be distributed throughout the interior, and planted along the perimeter, of parking areas.

Finding: The preliminary landscape plan indicates that a variety of canopy trees will be provided throughout the proposed parking areas.

Crime Prevention Through Environmental Design

702.025(a)(1) – Safety Features for Residents

- (A) Multiple family developments shall be designed in a manner that considers crime prevention and resident safety.

Finding: The applicant indicates that all buildings have windows provided in habitable rooms and windows that face the parking lots and open space areas. The corresponding design standard requires windows to be provided in all habitable rooms, other than bathrooms, that face common open space, parking areas, and pedestrian paths. However, Building 1 and Building 4 include rooms with habitable space that do not have windows facing parking and open space areas. Staff recommends that additional window area be incorporated into the design for Building 1 and Building 4 to fully comply with the intent of this design guideline.

Condition 1: Additional window areas shall be incorporated into the design for Building 1 and Building 4 so that windows are provided in all habitable space facing common open space and parking areas.

(B) Landscaping and fencing shall be provided in a manner that does not obscure visual surveillance of common open space, parking areas, or dwelling unit entryways.

Finding: The corresponding design standard requires landscaping and fencing adjacent to common open space, parking areas, and dwelling unit entryways to be limited to a maximum height of 3 feet. Preliminary landscape plans and the applicant's statement indicate that no fences or plant materials will be located in areas which obstruct visibility. All landscaping adjacent to open space areas will not exceed 3 feet in height. The proposed landscaping and fencing complies with the corresponding design standard (SRC 702.025(a)(2)(B)), and complies with this design guideline.

Parking, Site Access, and Circulation

702.030(b)(1) – General Parking and Site Access

(A) Parking areas shall be designed to minimize the expanse of continuous parking.

Finding: The corresponding design standard (SRC 702.030(b)(2)(A)) requires parking areas greater than 6,700 square feet in area to be physically and visually separated with landscaped planter bays that are a minimum of 18 feet in width. It appears that the parking lot complies with this standard. Landscape islands with canopy trees are provided at regular intervals around the proposed parking area to minimize the expanse of continuous parking, and therefore complies with this guideline.

(B) Pedestrian pathways shall be provided that connect to and between buildings, common open space, parking areas, and surrounding uses.

Finding: The proposed site plan includes pedestrian pathways which connect the parking areas, common open space areas and recreation building to the proposed multi-family dwelling units. The proposed interior pedestrian connections comply with the corresponding design standard (SRC 702.030(b)(2)(B)), and complies with this design guideline.

(C) Parking shall be located to maximize the convenience of residents.

Finding: Parking areas are provided throughout the development site, in a convenient distance from the proposed multi-family dwelling units and the

recreation building, in compliance with this design guideline.

- (D) Parking areas and circulation systems shall be designed in a manner that considers site topography, natural contours, and any abutting properties zoned Residential Agriculture (RA) or Single Family Residential (RS).

Finding: The topography of the property is relatively flat in this location, there are no identified landslide hazard areas on the property or environmentally sensitive areas. The proposed parking areas do not directly abut a RA or RS zone. The proposed parking area and circulation system complies with the corresponding design standards (SRC 702.030(b)(2)(E), (G) and (H)), and complies with this design guideline.

702.030(c)(1) – Site Access

- (A) Accessibility to and from the site shall be provided for both automobiles and pedestrians.

Finding: The corresponding design standard (SRC 702.030(c)(2)(A)) requires pedestrian pathways to be provided that connect the development to the public sidewalks. As part of the development, a new sidewalk will be extended from Liberty Road S to the development site. In addition, pedestrian access will be provided to Pembroke Street SE. The proposal complies with this guideline.

- (B) Site access shall be provided in a manner that minimizes vehicle and pedestrian conflicts.

Finding: Pedestrian access is provided in defined pathways and marked crosswalks throughout the proposed site plan, with the exception of the pedestrian pathway leading from Liberty Road S to the gate at the main entrance. Beyond the gate, there is no marker or refuge for pedestrians trying to enter or exit the site through the gate. Staff recommends that a marked crosswalk be provided to lead pedestrians through the vehicle use area from gate into the site.

Condition 2: Provide a marked crosswalk to lead pedestrians through the vehicle use area from the gate at the main entrance into the site.

- (C) Where possible, driveway access shall be provided onto collector or local streets rather than arterial streets.

Finding: The subject property has frontage along two streets, Liberty Road S, designated as a Major Arterial and Pembroke Street SE, designated as a local street. Access to the site is provided by Liberty Road S, with emergency vehicle access only provided by Pembroke Street SE. This arrangement is

consistent with a condition of approval from ZC-CU15-03 which limits access on Pembroke Street SE to emergency vehicle access only, but does not comply with the corresponding design standard (SRC 702.030(c)(2)(C)). The proposal is consistent with this design guideline.

- (D) Where possible, driveway access shall be consolidated with either existing or future driveways serving adjacent developments.

Finding: The main entrance to the proposed apartment complex is a shared accessway serving existing commercial businesses as conditioned by the Liberty Crossing Subdivision, approved in 2006. The proposed site plan complies with the corresponding design standard (SRC 702.030(c)(2)(D)), and complies with this design guideline.

- (E) Parking areas shall be located to minimize their visibility from the public right-of-way and abutting properties.

Finding: The design standard (SRC 702.030(b)(2)(D)) requires garages, carports, and parking areas to be setback a minimum of 20 feet from the public right-of-way. Adjacent to Pembroke Street SE, the proposed parking spaces are setback from the street by approximately 10 feet which does not comply with the corresponding design standard. To minimize the visibility of the proposed parking spaces, staff recommends additional trees be provided adjacent to the proposed parking spaces to minimize their visibility from the right-of-way.

Condition 3: Provide a minimum of two shade trees adjacent to the parking spaces abutting Pembroke Street SE.

Building Mass & Façade Design

702.035(b)(1) – General Siting and Building Mass

- (A) Buildings shall be sited with sensitivity to topography and natural landform.

Finding: The corresponding design standard (SRC 702.035(b)(2)(A)) limits the amount of area on the site that can be regraded in areas with a cross slope greater than 15 percent. The subject property is relatively flat and does not have any areas of slope greater than 15 percent. The proposed development complies with the corresponding design standard, and complies with this design guideline.

- (B) The development shall be designed to reinforce human scale.

Finding: The corresponding design standard (SRC 702.035(b)(2)(B)) requires buildings to have no dimension greater than 150 feet. Building 1 is the building with the greatest dimension at approximately 130 feet. The

proposed development complies with the corresponding design standard, and complies with this design guideline.

(C) Buildings with long monotonous exterior walls shall be avoided.

Finding: The corresponding design standard (SRC 702.035(b)(2)(B)) requires buildings to have no dimension greater than 150 feet. Building 1 is the building with the greatest dimension at approximately 130 feet. In addition, each proposed building includes offsets and articulation to break up the façade. The proposed development complies with the corresponding design standard, and complies with this design guideline.

702.035(c)(1) – Compatibility

(A) Contrast and compatibility shall be provided throughout the site through building design, size, and location.

Finding: Horizontal and vertical building offsets are provided in the design for each building. No dimension exceeds more than 150 feet in length. The proposed building setbacks and building height comply with the standards and guidelines for multi-family development.

(B) Appropriate transitions shall be provided between new buildings and structures on-site and existing buildings and structures on abutting sites.

Finding: The proposed buildings comply with height and setback requirements of the CR zone and the conditions of approval from ZC-CU15-03. The building height and setbacks proposed provide a separation and transitional area between existing buildings on abutting sites.

(C) Architectural elements and façade materials shall be used to provide continuity throughout the site.

Finding: Building offsets, varied roof elevations and contrasting facade materials are provided in the design for each building.

(D) The majority of dwelling units within the development shall be placed as close as possible to the street right-of-way.

Finding: The corresponding design standard (SRC 702.035(c)(2)(C)) requires on sites with more than 75 feet of frontage, a minimum of 50 percent of the buildable width shall be occupied by buildings placed at the setback line. The proposed site plan shows buildings 1 and 2 placed on the setback line adjacent to Pembroke Street SE. The proposed site plan complies with corresponding design standard, and complies with this guideline.

(E) Architecturally defined and covered entryways shall be incorporated into the

design of buildings.

Finding: The corresponding design standard (SRC 702.035(c)(2)(E)) requires a porch or architecturally defined entry area to be provided for each ground level dwelling unit. Covered entry ways are provided in the design of the primary entrance for each of the buildings. The proposal complies with the corresponding design standard, and complies with this guideline.

702.035(d)(1) – Building Articulation

(A) The appearance of building bulk shall be minimized by:

- (i) Establishing a building offset interval along building facades; and

Finding: The corresponding design standards (SRC 702.035(d)(2)(A)) requires every two attached dwelling units to be offset from the next dwelling unit by at least 4 feet in depth. Each of the proposed buildings includes a 4-foot building offset between every two dwelling units in compliance with the corresponding design standard, and therefore complies with this guideline.

- (ii) Dispersing windows throughout building facades.

Finding: The corresponding design standard (SRC 702.035(d)(2)(F)) requires windows to be provided in all habitable rooms, other than bathrooms, that face required setbacks, common open areas, and parking areas.

Building 1 and Building 4 include rooms with habitable space that do not have windows facing parking and open space areas. Staff recommends that additional window area be incorporated into the design for Building 1 and Building 4 to fully comply with the intent of this design guideline.

Condition 1: Additional window areas shall be incorporated into the design for Building 1 and Building 4 so that windows are provided in all habitable space facing common open space and parking areas.

(B) Articulation shall be provided at the common entry way to all residential buildings.

Finding: Covered entry ways, which are clearly defined and accessible, are provided for at the common entries for each building.

(C) Building roofs shall reinforce the residential character of the neighborhood.

Finding: The corresponding design standard (SRC 702.035(d)(2)(E)) require that the horizontal length of roof shall not exceed 100 feet without providing a change of elevation of at least 4 feet. The plan for proposed Building 3 includes a roof with a length of 107.5 feet that does not provide a change in

elevation, and therefore does not comply with the corresponding design standard.

Building 3 is adjacent to a Single Family Residential area to the north. The proposed building is two stories in height and approximately 25 feet in height, consistent with the height requirements found in the Single Family Residential zone, and consistent with the character of a residential neighborhood. While the roof does not comply with the standards, the development results in a less intrusive visual impact to adjacent properties and in addition, the use of fencing and landscaping adjacent to Building 3 help to reinforce the residential scale of the development, which is consistent with the intent of this design guideline.

Recycling

702.040(a)(1) – On-Site Design and Location of Facilities

- (A) Facilities shall be provided to allow recycling opportunities for tenants that are as conveniently located as the trash receptacles, and that are in compliance with any applicable federal, state, or local laws.

Finding: The site plan includes one trash and recycling area to serve residents. The proposed enclosures meet the solid waste service area requirements of SRC Chapter 800.055.

- (B) The design and materials of recycling areas shall be similar to the design and materials of the buildings within the development.

Finding: The applicant indicates that the proposed trash and recycling area will be screened and enclosed with a sight-obscuring fence or wall, and the doors and gate are proposed to be chain link with privacy slats. It is not clear from the plans or the applicant's narrative if the recycling area will be covered with a roof or not.

- (C) Recycling areas shall be located to provide adequate access for franchised haulers, and shall have containers sufficient to allow collection of all recyclables collected by the haulers.

Finding: The proposed enclosures meet the solid waste service area requirements of SRC Chapter 800.055, including requirements for vehicle operation and servicing area. Adequate space is provided to allow for the servicing of recyclables.

7. Analysis of Class 3 Site Plan Review Approval Criteria

SRC 220.005(f)(3) establishes the following criteria for a Class 3 Site Plan Review:

Criterion 1:

The application meets all applicable standards of the UDC.

Finding: The proposal includes a request to develop an 88-unit apartment complex in a CR zone on the subject property.

Development Standards – CR Zone:

SRC 522.005(a) - Uses:

Except as otherwise provided in Chapter 522, the permitted, special, conditional and prohibited uses in the CR zone are set forth in Table 522-1.

Finding: Multiple Family Uses are allowed in the CR zone, subject to Conditional Use Permit approval. A conditional use permit (ZC-CU 15-03) has been granted for the subject property to allow multi-family development subject to conditions of approval.

SRC 522.010(a) – Lot Standards:

There are no minimum lot area or dimensional requirements in the CR zone. The minimum street frontage requirement is 16 feet.

Finding: The subject property has frontage along two streets, Liberty Road S, and Pembroke Road SE. The existing street frontage exceeds the minimum frontage requirement.

SRC 522.010(b) – CR Zone Setbacks:

North: Adjacent to the north is a RS (Single Family Residential) zone. For multi-family development, there is a minimum 10 foot setback for buildings and vehicle use areas adjacent to a residential zone, however, additional setbacks are required per SRC Chapter 702 when abutting a RS zone.

Also adjacent to the north is the right-of-way for Pembroke Street SE. There is a minimum 5 foot building setback required adjacent to a street. There is a minimum 6-10 foot vehicle use area setback adjacent to a street per SRC Chapter 806.

Finding: Proposed Buildings 2 and 3 are setback from the norther property line by 26 and 24 feet respectively, exceeding the minimum setback in the CR zone.

Proposed Building 1 and 2 and a vehicle use area are setback approximately 10 feet from Pembroke Street SE, which complies with the minimum setback requirement adjacent to a street.

South: Adjacent to the west is an IP (Industrial Park) zone. For multi-family

development, there is a minimum 10 foot setback for buildings and vehicle use areas adjacent to an IP zone. Required landscaping shall meet the Type C standard set forth in SRC Chapter 807. Type C landscaping includes a minimum of 1 plant unit per 20 square feet of landscape area and installation of a 6-foot-tall sight obscuring fence or wall.

Finding: The proposed buildings and vehicle use area are setback from the southern property line by a minimum of 10 feet.

East: Adjacent to the east is an RS (Single Family Residential) zone. For multi-family development, there is a minimum 10 foot setback for buildings and vehicle use areas adjacent to a residential zone, however, additional setbacks are required per SRC Chapter 702 when abutting a RS zone. In addition, a condition of approval from CPC/NPC/ZC97-23 requires a minimum 20-foot-wide landscape strip along the common boundary with the park.

Finding: Proposed Buildings 3 and 4 are setback from the eastern property line by 30 feet, in compliance with the minimum setback of the CR zone, the multi-family design standards and previous conditions of approval.

West: Adjacent to the west is a CR (Retail Commercial) zone, occupied by Walgreens on the southern portion of the property and a dental clinic on the northern portion. For multi-family development, there is a minimum 10 foot setback for buildings and vehicle use areas. Required landscaping shall meet the Type C standard set forth in SRC Chapter 807. Type C landscaping includes a minimum of 1 plant unit per 20 square feet of landscape area and installation of a 6-foot-tall sight obscuring fence or wall.

Finding: The proposed setback adjacent to Walgreens complies with the minimum 10 foot setback. The proposed vehicle use area setback adjacent to the dental clinic is approximately 8 feet, and does not comply with the minimum setback.

Condition 4: The proposed vehicle use area adjacent to the dental clinic on the northwest portion of the site shall be setback a minimum of 10 feet.

SRC 522.010(c) - Lot Coverage, Height:

There is no maximum lot coverage standard in the CR zone. The maximum building height allowance for all uses in the CR zone is 50 feet.

Finding: The proposed development complies with the lot coverage and maximum height standards of the CR zone.

SRC 522.010(d) - Landscaping:

(1) **Setbacks.** Required setbacks shall be landscaped. Landscaping shall conform to the standards set forth in SRC Chapter 807.

- (2) **Vehicle Use Areas.** Vehicle use areas shall be landscaped as provided under SRC Chapter 806 and SRC Chapter 807.
- (3) **Vehicle Use Areas.** A minimum of 15 percent of the development site shall be landscaped. Landscaping shall meet the Type A standard set forth in SRC Chapter 807. Other required landscaping under the UDC, such as landscaping required for setbacks or vehicular use areas, may count towards meeting this requirement.

Finding: The subject property is approximately 4.23 acres in size (183,722 square feet), requiring a minimum of 27,558 square feet of landscape area ($183,722 \times 0.15 = 27,558.3$). The site plan indicates that 63,972 square feet of landscape area will be provided.

A minimum of 1 plant unit per 20 square feet is required or 3,199 plant units ($63,972 / 20 = 3,198.6$). Of the plant units, a minimum of 40 percent shall be trees or 1,280 ($3,199 \times 0.4 = 1,279.6$). Landscape and irrigation plans will be reviewed for conformance with the requirements of the zoning code at the time of building permit application review.

General Development Standards SRC 800

SRC 800.015(a) – Buildings to be on a Lot.

Every building or structure shall be entirely located on a lot. Where two or more lots are under single ownership to accommodate a single development, the entire combined area shall be considered as a single lot for purposes of the UDC.

Finding: The subject property consists of four separate lots. The proposed site plan indicates that buildings may be placed over existing property lines. The property boundary verification provides a process whereby the outside boundary of two or more contiguous units of land held under the same ownership may be established as the property line for purposes of application of the Building Code. Staff recommends the following condition.

Condition 4: Prior to issuance of building permit, a Property Boundary Verification application shall be approved and recorded with Marion County which defines the outside boundary of the subject property.

Solid Waste Service Area Development Standards SRC 800

SRC 800.055(a) – Applicability.

Solid waste service area design standards shall apply to all new solid waste, recycling, and compostable services areas, where use of a solid waste, recycling, and compostable receptacle of 1 cubic yard or larger is proposed.

SRC 800.055(b) – Solid Waste Receptacle Placement Standards.

All solid waste receptacles shall be placed at grade on a concrete pad that is a minimum of 4 inches thick, or on an asphalt pad that is a minimum of 6 inches

thick. The pad shall have a slope of no more than 3 percent and shall be designed to discharge stormwater runoff.

- 1) Pad area. In determining the total concrete pad area for any solid waste service area:
 - a. The pad area shall extend a minimum of 1-foot beyond the sides and rear of the receptacle.
 - b. The pad area shall extend a minimum 3 feet beyond the front of the receptacle.
 - c. In situations where receptacles face each other, a minimum 4 feet of pad area shall be required between the fronts of the facing receptacles.

Finding: A concrete slab pad area is proposed, meeting the minimum dimensional requirements of this section.

- 2) Minimum Separation.
 - a. A minimum separation of 1.5 feet shall be provided between the receptacle and the side wall of the enclosure.
 - b. A minimum separation of 5 feet shall be provided between the receptacle and any combustible walls, combustible roof eave lines, or building or structure openings.

Finding: Adequate separation distance is provided within the enclosure. Receptacles will not be placed within 5 feet of a building or structure.

SRC 800.055(e) – Solid Waste Service Area Enclosure Standards.

When enclosures area used for required screening or aesthetics, such enclosure shall conform to the following standards:

- 1) Front Opening of Enclosure. The front opening of the enclosure shall be unobstructed and shall be a minimum of 12 feet in width.

Finding: The proposed enclosure has two openings, with each opening at 12 feet, meeting the minimum standard.

- 2) Measures to Prevent Damage to Enclosure. Enclosures constructed of wood or chain link fencing material shall contain a minimum 4-inch nominal high bumper curb at ground level located 12 inches inside the perimeter of the outside walls of the enclosure to prevent damage from receptacles impacts.

Finding: The plans do not specify the material of the enclosure, the applicant's statement indicates that it could be fencing or a wall. Compliance with this section will be determined at the time of building permit review.

- 3) Enclosure Gates. Any gate across the front opening of an enclosure shall swing freely without obstructions. For any opening that is less than 15 feet in width, the gates shall open a minimum of 120 degrees. All gates shall have restrainers in the open and closed positions.

Finding: The proposed gates can swing 120 degrees.

SRC 800.055(f) – Solid Waste Service Area Vehicle Access.

- 1) **Vehicle Operation Area.** A vehicle operation area shall be provided for solid waste collection service vehicles that are free of obstructions and no less than 45 feet in length and 12 feet in width. Vehicle operation areas shall be made available in front of every receptacle.

Finding: The proposed vehicle operation area meets the minimum dimensional requirements for service vehicle access.

Off-Street Parking, Loading, and Driveways SRC 806

SRC 806.005 - Off-Street Parking; When Required.

Off-street parking shall be provided and maintained for each proposed new use or activity.

SRC 806.010 - Proximity of Off-Street Parking to Use or Activity Served.

Required off-street parking shall be located on the same development site as the use or activity it serves.

SRC 806.015 - Amount of Off-Street Parking.

- a) **Minimum Required Off-Street Parking.** The minimum number of off-street parking spaces required for a multi-family use is 1.5 spaces per dwelling unit.
- b) **Compact Parking.** Up to 75 percent of the minimum off-street parking spaces required under this Chapter may be compact parking spaces.
- c) **Carpool and Vanpool Parking.** New developments with 60 or more required off-street parking spaces, and falling within the Public Services and Industrial use classifications, and the Business and Professional Services use category, shall designate a minimum of 5 percent of their total off-street parking spaces for carpool or vanpool parking.
- d) **Maximum Off-Street Parking.** Unless otherwise provided in the SRC, off-street parking shall not exceed the amounts set forth in Table 806-2.

Finding: The proposed 88-unit apartment complex requires a minimum of 132 off-street parking spaces ($88 \times 1.5 = 132$). The maximum off-street parking allowance for the use is 231 spaces ($132 \times 1.75 = 231$). There are 154 proposed off-street parking spaces provided for the proposed use, consistent with the minimum and maximum off-street parking requirements.

29 of the proposed parking spaces are designated as compact spaces (19 percent). Carpool/vanpool spaces are not required for a multi-family residential

use.

SRC 806.035 - Off-Street Parking and Vehicle Use Area Development Standards.

Unless otherwise provided under the UDC, off-street parking and vehicle use areas, other than driveways and loading areas, for uses or activities other than Single Family and Two Family shall be developed and maintained as provided in this section.

- a) *General Applicability.* The off-street parking and vehicle use area development standards set forth in this section apply to:
1. The development of new off-street parking and vehicle use areas.
 2. The expansion of existing off-street parking and vehicle use areas, where additional paved surface is added.
 3. The alteration of existing off-street parking and vehicle use areas, where the existing paved surface is replaced with a new paved surface; and
 4. The paving of an un-paved area.

Finding: Off-street parking and vehicle use area development standards apply to the new off-street parking area.

- b) *Location.* Off-street parking and vehicle use areas shall not be located within required setbacks.

Finding: The site plan indicates that a vehicle use area will encroach into the required 10 foot setback adjacent to the dental clinic on the northwest portion of the development site. This does not comply with the minimum setback standard and must be corrected prior to issuance of a Building Permit.

Condition 5: The proposed vehicle use area adjacent to the dental clinic on the northwest portion of the site shall be setback a minimum of 10 feet.

- c) *Perimeter Setbacks and Landscaping.* Perimeter setbacks shall be required for off-street parking and vehicle use areas abutting streets, abutting interior front, side, and rear property lines, and adjacent to buildings and structures.

Where an off-street parking or vehicular use area is located adjacent to a building or structure, the off-street parking or vehicle use area shall be setback from the exterior wall of the building or structure by a minimum 5-foot-wide landscape strip or by a minimum 5-foot-wide paved pedestrian walkway.

Finding: The vehicle use area complies with the minimum 5 foot vehicle use area setback adjacent to a building.

- d) *Interior Landscaping.* Interior landscaping shall be required for off-street parking areas 5,000 square feet or greater in size.

Finding: The proposed site plan indicates that the parking and driveway area is 54,667 square feet in size. A minimum of 4,373 square feet of interior parking lot landscaping is required ($54,667 \times 0.8 = 4,373.4$). The summary table indicates that 6,138 square feet of interior parking lot landscaping is provided for the site, exceeding the minimum requirement.

- e) *Off-Street Parking Area Dimensions.* Off-street parking areas shall conform to the minimum dimensions set forth in Table 806-6.

Finding: The proposed off-street parking spaces are sufficient to meet the minimum dimensions for standard and compact sized parking spaces.

- f) *Additional Off-Street Parking Area Development Standards 806.035(f-m).*

Finding: The proposed off-street parking area is developed consistent with the additional standards for grade, surfacing, and drainage. Bumper guards, wheel barriers, striping, marking and signage and lighting will meet the standards of SRC 806. Lighting shall be consistent with SRC Chapter 806.

Bicycle Parking

SRC 806.045 - General Applicability.

Bicycle parking shall be provided and maintained for any new use or activity.

SRC 806.050 – Proximity of Bicycle Parking to use or Activity Served.

Bicycle parking shall be located on the same development site as the use or activity it serves.

SRC 806.055 - Amount of Bicycle Parking.

A multi-family use is required to have the greater of 4 bicycle spaces or a minimum of 0.1 bicycle spaces per dwelling unit.

Finding: The proposed development is for an 88-unit apartment complex, which requires a minimum of 9 bicycle parking spaces ($88 \times 0.1 = 8.8$). The proposed site plan indicates 16 bicycle parking spaces will be provided, dispersed throughout the development site.

SRC 806.060 – Bicycle Parking Development Standards

Unless otherwise provided under the UDC, bicycle parking areas shall be developed and maintained as set forth in this section.

- a) *Location.* Bicycle parking areas shall be located within a convenient distance of, and shall be clearly visible from, the primary building entrance. In no event shall bicycle parking areas be located more than 50 feet from the primary building entrance.

- b) Access. Bicycle parking areas shall have direct and accessible access to the public right-of-way and the primary building entrance.
- c) Dimensions. Bicycle parking spaces shall be a minimum of 6 feet by 2 feet, and shall be served by a minimum 4-foot-wide access aisle.
- d) Bicycle Racks. Where bicycle parking is provided in racks, the racks may be floor, wall, or ceiling racks. Bicycle racks shall accommodate the bicyclist's own locking device.

Finding: The proposed bicycle parking spaces are within 15-20 feet of the main entry for the buildings. Dimensions and design of the bicycle parking spaces will be reviewed at the time of Building Permit.

Off-Street Loading Areas

SRC 806.065 - General Applicability.

Off-street loading areas shall be provided and maintained for each proposed new use or activity.

SRC 806.070 – Proximity of Off-Street Loading Areas to Use or Activity Served.

Off-street loading shall be located on the same development site as the use or activity it serves.

SRC 806.075 - Amount of Off-Street Loading.

Multiple family uses with 50-99 units, a minimum of one off-street loading space is required. The space shall be 12 feet in width, 19 feet in length, and 12 feet of vertical clearance.

If a recreational or service building is provided, at least one of the required loading spaces shall be located in conjunction with the recreational or service building.

Finding: There is one off-street loading space to serve the proposed apartment complex which is located next to the recreation building and within 40 feet of the building entrance which complies with the standard in SRC Chapter 806.

Landscaping

All required setbacks shall be landscaped with a minimum of 1 plant unit per 20 square feet of landscaped area. A minimum of 40 percent of the required number of plant units shall be a combination of mature trees, shade trees, evergreen/conifer trees, or ornamental trees. Plant materials and minimum plant unit values are defined in SRC Chapter 807, Table 807-2.

All building permit applications for development subject to landscaping requirements shall include landscape and irrigation plans meeting the requirements of SRC Chapter 807.

Finding: Landscape and irrigation plans will be reviewed for conformance with the requirements of SRC 807 at the time of building permit application review.

Natural Resources

SRC 808 - Preservation of Trees and Vegetation: The City's tree preservation ordinance, under SRC Chapter 808, provides that no person shall remove a significant tree (Oregon White Oak greater than 24 inches in diameter at breast height) (SRC 808.015) or a tree or native vegetation in a riparian corridor (SRC 808.020), unless the removal is excepted under SRC 808.030(a)(2), undertaken pursuant to a permit issued under SRC 808.030(d), undertaken pursuant to a tree conservation plan approved under SRC 808.035, or permitted by a variance granted under SRC 808.045.

No protected trees have been identified on the site plan for removal.

SRC 809 - Wetlands: Grading and construction activities within wetlands are regulated by the Oregon Department of State Lands (DSL) and US Army Corps of Engineers. State and Federal wetland laws are also administered by the DSL and Army Corps, and potential impacts to jurisdictional wetlands are addressed through application and enforcement of appropriate mitigation measures.

According to the Salem-Keizer Local Wetland Inventory (LWI) there are no wetlands or hydric soil areas mapped on the subject property. The applicant should contact the Department of State Lands to verify if permits are required for the proposed scope of work.

SRC 810 - Landslide Hazards: A geological assessment or report is required when regulated activity is proposed in a mapped landslide hazard area. The subject property does not contain any mapped landslide hazard areas; two activity points are assigned to the proposed multifamily development. A total of two points indicates a low landslide hazard risk; therefore a geological assessment is not required.

Criterion 2:

The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately.

Finding: Liberty Road S and Pembroke Street SE meets the right-of-way width and pavement width standards per the Salem TSP; therefore, no additional street improvements are required as a condition of the proposed development.

Criterion 3:

Parking areas and driveways are designed to facilitate safe and efficient

movement of vehicles, bicycles, and pedestrians.

Finding: The driveway access onto Liberty Road S provides for safe turning movements into and out of the property.

Criterion 4:

The proposed development will be adequately served with City water, sewer, stormwater facilities, and other utilities appropriate to the nature of the development.

Finding: The Public Works Department has reviewed the applicant's preliminary utility plan for this site. The water, sewer, and storm infrastructure are available within surrounding streets / areas and appear to be adequate to serve the proposed development. The applicant shall design and construct all utilities (sewer, water, and storm drainage) according to the Public Works Design Standards (PWDS) and to the satisfaction of the Public Works Director. The applicant is advised that a sewer monitoring manhole may be required, and the trash area shall be designed in compliance with Public Works Standards.

The applicant's engineer submitted a statement demonstrating compliance with Stormwater PWDS Appendix 004-E(4)(a)-or(b) and SRC Chapter 71. The preliminary stormwater design demonstrates the use of green stormwater infrastructure to the maximum extent feasible. The applicant's engineer shall design and construct a storm drainage system at the time of development in compliance with SRC Chapter 71 and PWDS.

RECOMMENDATION

Based upon the Facts and Findings contained in this staff report, staff recommends that the Planning Commission GRANT the request for a consolidated class 3 design review and class 3 site plan review for development of an 88-unit multi-family use for property located at 152-172 Pembroke Street SE and 4752 Liberty Road S – 97302 subject to the following conditions of approval:

- Condition 1:** Additional window areas shall be incorporated into the design for Building 1 and Building 4 so that windows are provided in all habitable space facing common open space and parking areas.
- Condition 2:** Provide a marked crosswalk to lead pedestrians through the vehicle use area from the gate at the main entrance into the site.
- Condition 3:** Provide a minimum of two shade trees adjacent to the parking spaces abutting Pembroke Street SE.
- Condition 4:** Prior to issuance of building permit, a Property Boundary Verification

application shall be approved and recorded with Marion County which defines the outside boundary of the subject property.

Condition 5: The proposed vehicle use area adjacent to the dental clinic on the northwest portion of the site shall be setback a minimum of 10 feet.

Prepared by Aaron Panko, Planner III

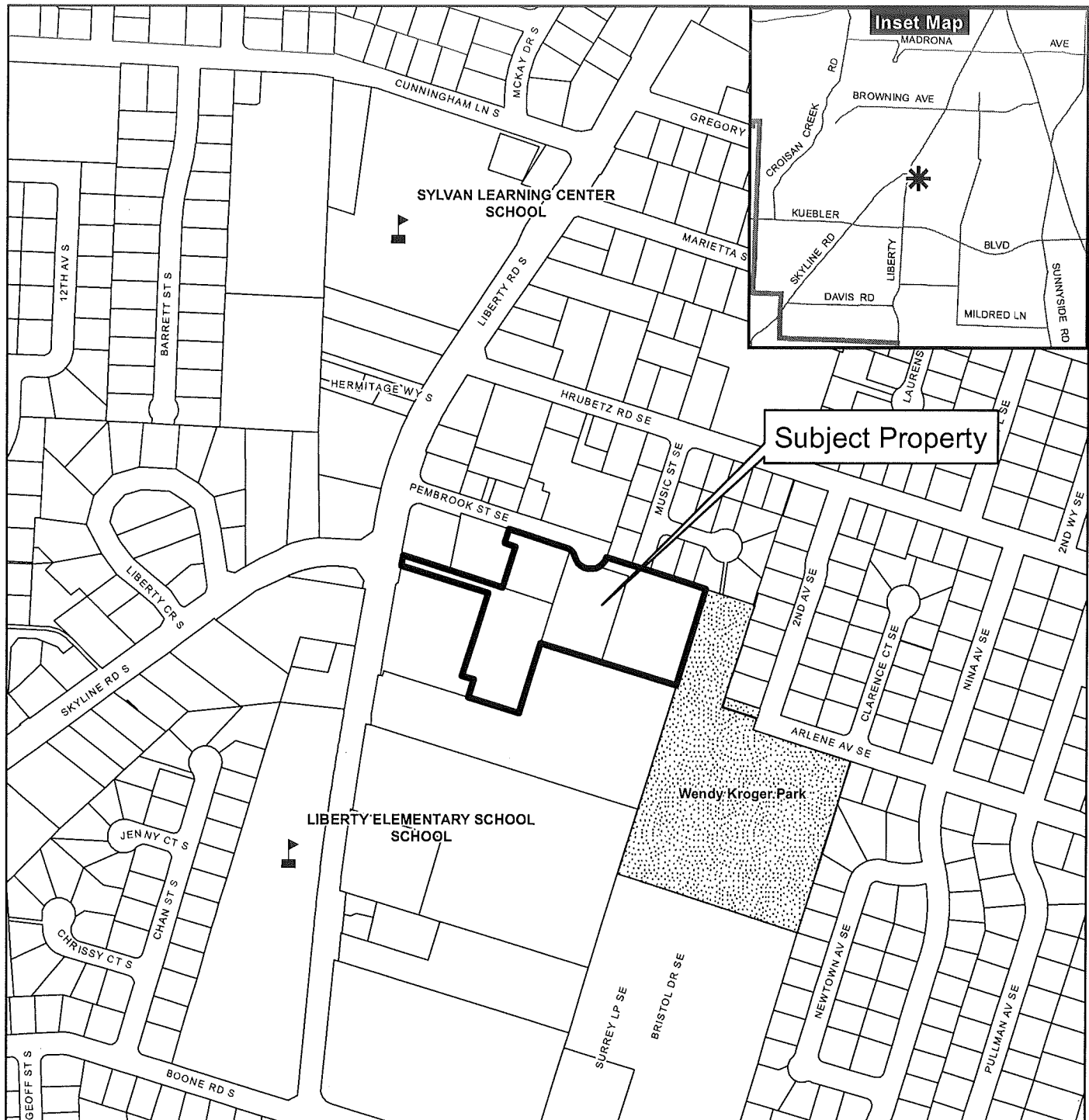
Application Deemed Complete Date: August 11, 2016
State Mandated Decision Date: December 9, 2016

Attachments: A. Vicinity Map
B. Proposed Site Plan and Building Elevations
C. Applicant's Statement
D. Public Works Memo

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Vicinity Map

152-172 Pembroke Street SE, and 4752 Liberty Road S



Legend

Taxlots

Urban Growth Boundary

City Limits

Outside Salem City Limits

Historic District

Schools

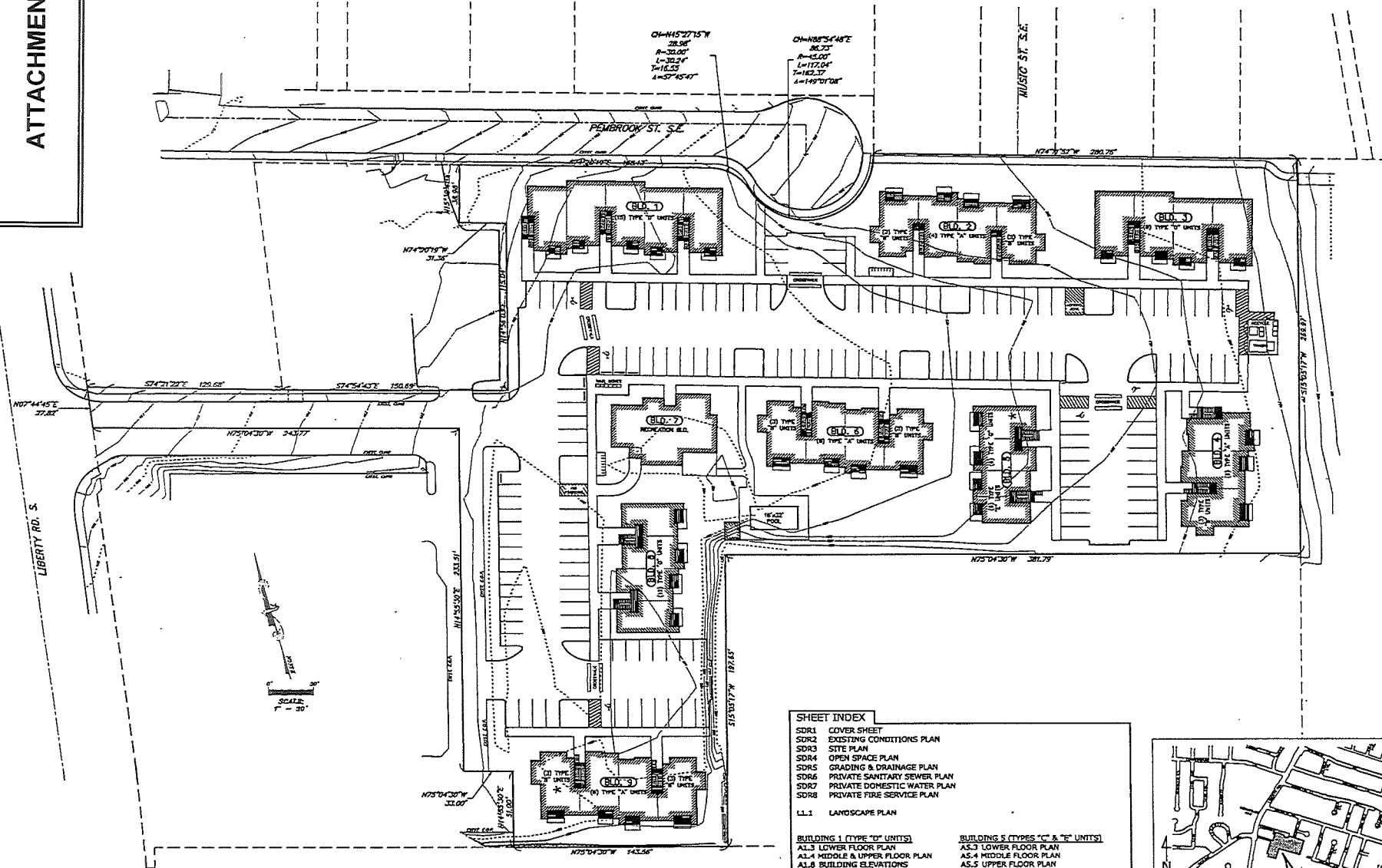
Parks

CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

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0 100 200 400 Feet





PEMBROOK STREET APARTMENT COMPLEX

SEC. 9, T. 8 S., R. 3 W., W.M.
CITY OF SALEM
MARION COUNTY, OREGON

Owner/Developer:
DAV II INVESTMENTS
P.O. BOX 3308
SALEM, OREGON 97302

SHEET INDEX

SDR1 COVER SHEET
SDR2 EXISTING CONDITIONS PLAN
SDR3 SITE PLAN
SDR4 OPEN SPACE PLAN
SDR5 GRADING & DRAINAGE PLAN
SDR6 PRIVATE SANITARY SEWER PLAN
SDR7 PRIVATE DOMESTIC WATER PLAN
SDR8 PRIVATE FIRE SERVICE PLAN

LL1 LANDSCAPE PLAN

BUILDING 1 (TYPE "D" UNITS)

A1.3 LOWER FLOOR PLAN
A1.4 MIDDLE & UPPER FLOOR PLAN
A1.8 BUILDING ELEVATIONS

BUILDING 2 (TYPES "A" & "B" UNITS)

A2.3 LOWER FLOOR PLAN
A2.4 UPPER FLOOR PLAN
A2.8 BUILDING ELEVATIONS

BUILDING 3 (TYPE "D" UNITS)

A3.3 LOWER FLOOR PLAN
A3.4 MIDDLE & UPPER FLOOR PLAN
A3.8 BUILDING ELEVATIONS

BUILDING 4 (TYPES "A" & "B" UNITS)

A4.3 LOWER FLOOR PLAN
A4.4 MIDDLE & UPPER FLOOR PLAN
A4.8 BUILDING ELEVATIONS

BUILDING 5 (TYPES "C" & "E" UNITS)

A5.3 LOWER FLOOR PLAN
A5.4 MIDDLE FLOOR PLAN
A5.5 UPPER FLOOR PLAN
A5.9 BUILDING ELEVATIONS

BUILDINGS 6 & 9 (TYPES "A" & "B" UNITS)

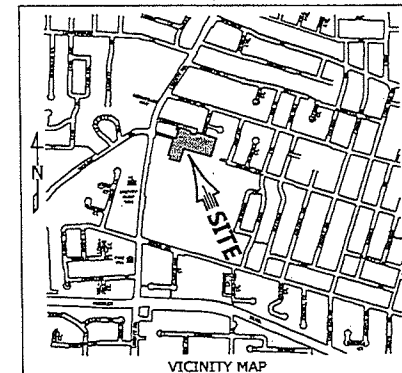
A6.3 LOWER FLOOR PLAN
A6.4 MIDDLE & UPPER FLOOR PLAN
A6.8 BUILDING ELEVATIONS

BUILDING 7 (RECREATION BUILDING)

A7.3 LOWER FLOOR PLAN
A7.5 BUILDING ELEVATIONS

BUILDING 8 (TYPES "C" UNITS)

A8.3 LOWER FLOOR PLAN
A8.4 MIDDLE FLOOR PLAN
A8.5 UPPER FLOOR PLAN
A8.5 BUILDING ELEVATIONS

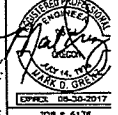


COVER SHEET

PEMBROOK STREET
APARTMENT COMPLEX

NO CHANGES, ADDITIONS OR
REVISIONS TO BE MADE TO
THIS DRAWING WITHOUT THE
APPROVAL OF THE DESIGN
ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

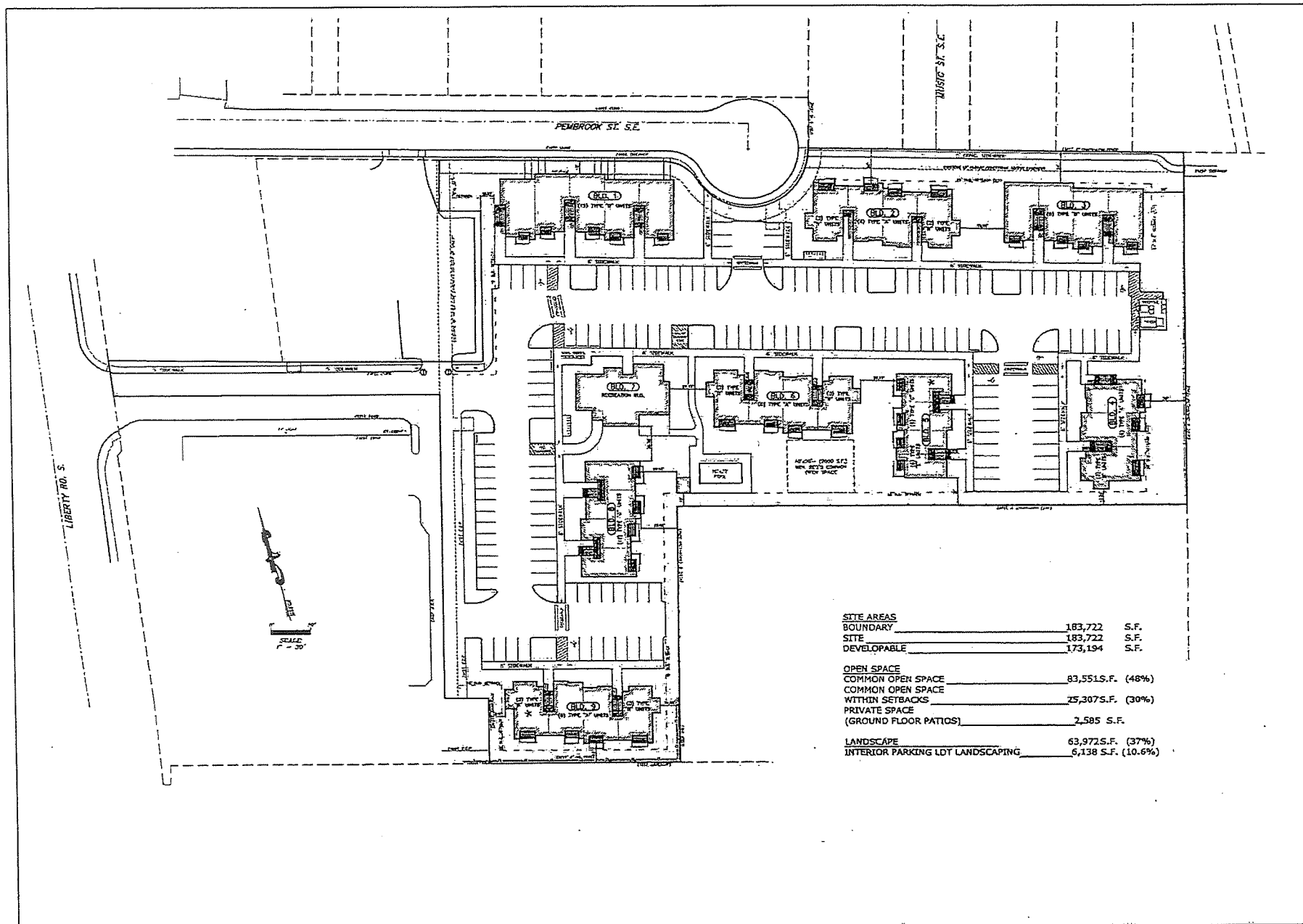
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DRAWN: D.G.O.
CHECKED: A.S.B.
SCALE: AS SHOWN



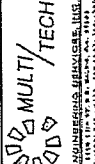
05-20-2017

208 P. 6132

SDR1



SITE AREAS		
BOUNDARY	183,722	S.F.
SITE	183,722	S.F.
DEVELOPABLE	173,194	S.F.
OPEN SPACE		
COMMON OPEN SPACE	83,551 S.F.	(48%)
COMMON OPEN SPACE WITHIN SETBACKS	25,307 S.F.	(30%)
PRIVATE SPACE (GROUND FLOOR PATIOS)	2,585 S.F.	
LANDSCAPE		
INTERIOR PARKING LOT LANDSCAPING	6,138 S.F.	(10.6%)



SDR4 MULTI/TECH

MANAGEMENT SERVICES, INC.
10000 S.W. 10TH AVE., SUITE 100
MIAMI, FL 33156
(305) 555-1234

OPEN SPACE PLAN

**PEMBROKE STREET
APARTMENT COMPLEX**

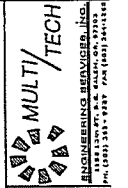
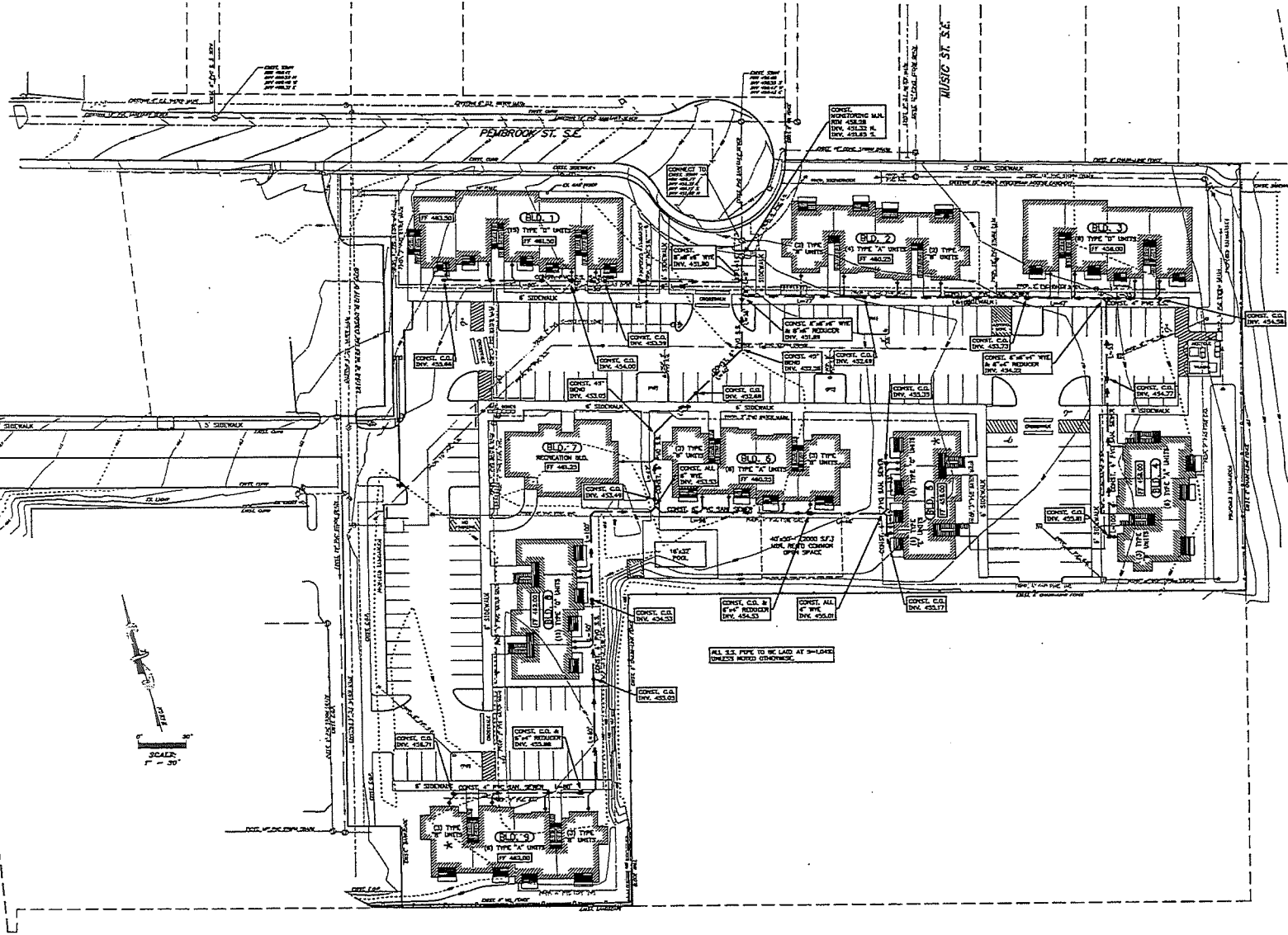
ALL DIMENSIONS ARE APPROXIMATE AND NOT TO SCALE. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

<p>DESIGN: R.D.S. DRAWN: S.E.A. CHECKED: S.E.A. DATE: 01/15/2017 SCALE: AS SHOWN AS BUILT</p>	<p>APPROVED FOR CONSTRUCTION</p> <p><i>[Signature]</i></p> <p>DATE: 01/15/2017</p> <p>FOR: SDR4</p>
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SDR4

LIBERTY RD. S

98



PRIVATE SANITARY SEWER PLAN

PEMBROKE STREET APARTMENT COMPLEX

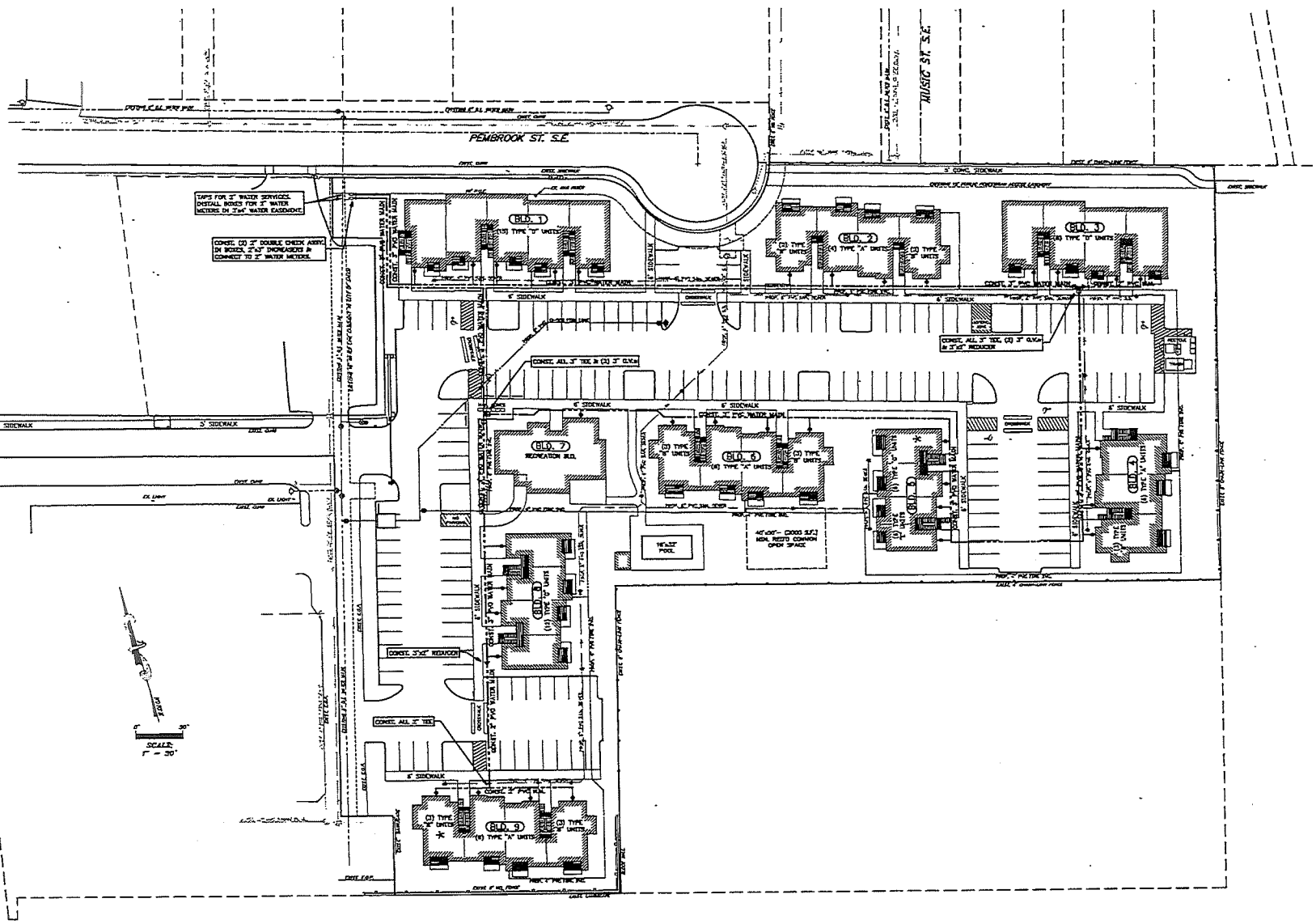
NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THIS PLAN WITHOUT THE WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DESIGN: H.B.G.
DRAWN: D.O.G.
CHECKED: J.A.R. 2016
SCALE: AS SHOWN



DATE: 06-30-2017
JOB # 6128

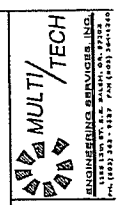
SDR6



LIBERTY RD. S.

PEMBROKE ST. S.E.

SCALE:
1" = 30'

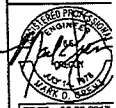


**PRIVATE
DOMESTIC WATER
PLAN**

**PEMBROKE STREET
APARTMENT COMPLEX**

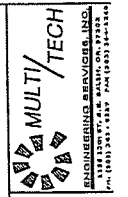
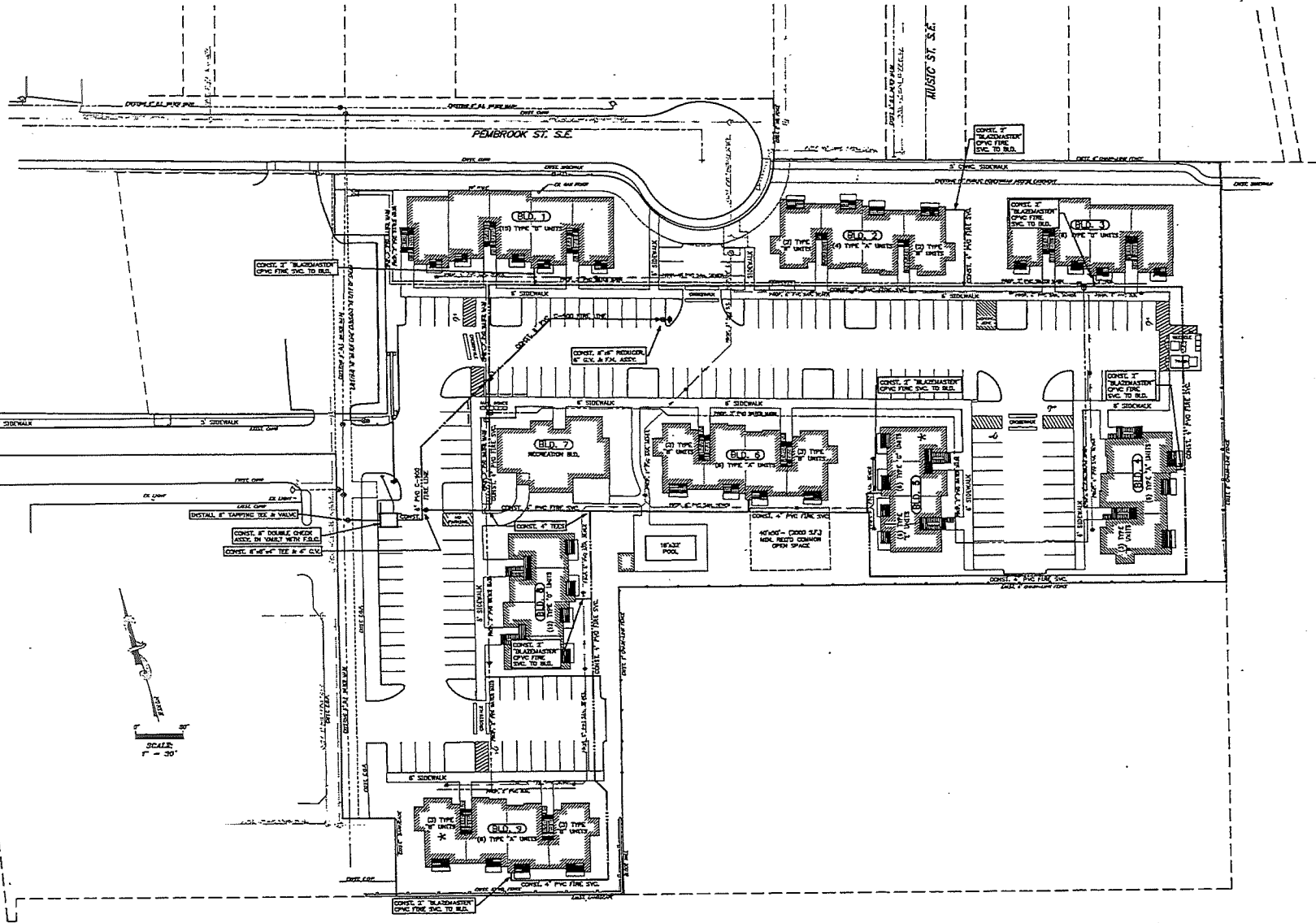
NO CHANGES, MODIFICATIONS OR
REPRODUCTIONS TO BE MADE TO
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ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

PROJECT: SDR7
 Design: H.D.G.
 Drawn: S.D.G.
 Date: JUL 2011
 Scale: AS SHOWN



DATE: 06-20-2017
 JOB # 6128

SDR7

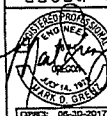


PRIVATE FIRE SERVICE PLAN

PEMBROKE STREET APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR APPROXIMATIONS TO BE MADE TO THIS FIRE SERVICE PLAN WITHOUT THE WRITTEN PERMISSION OF THE DESIGN ENGINEER. DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

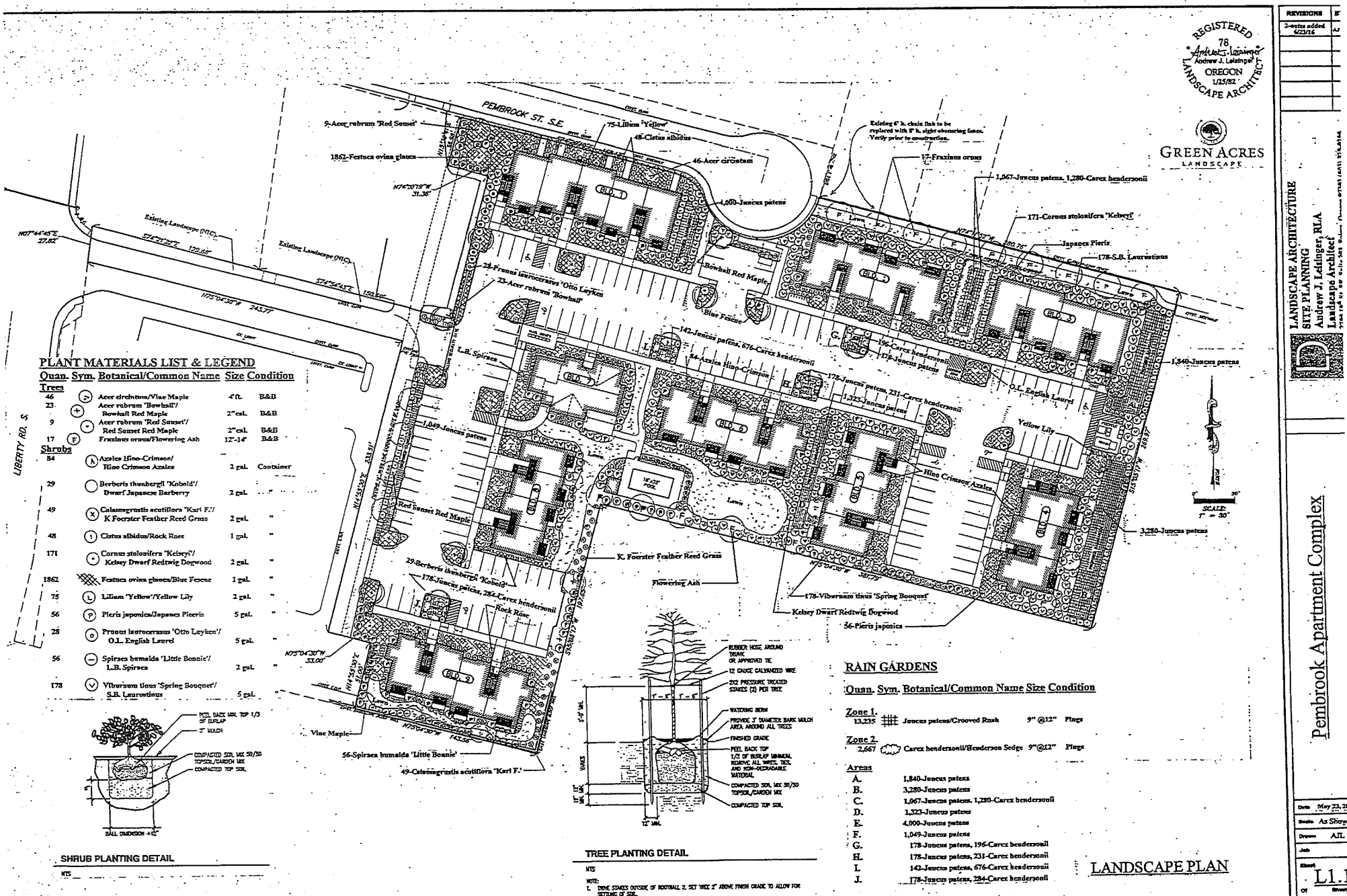
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Drawn	D.G.B.
Checked	N.E.G.
Scale	AS SHOWN

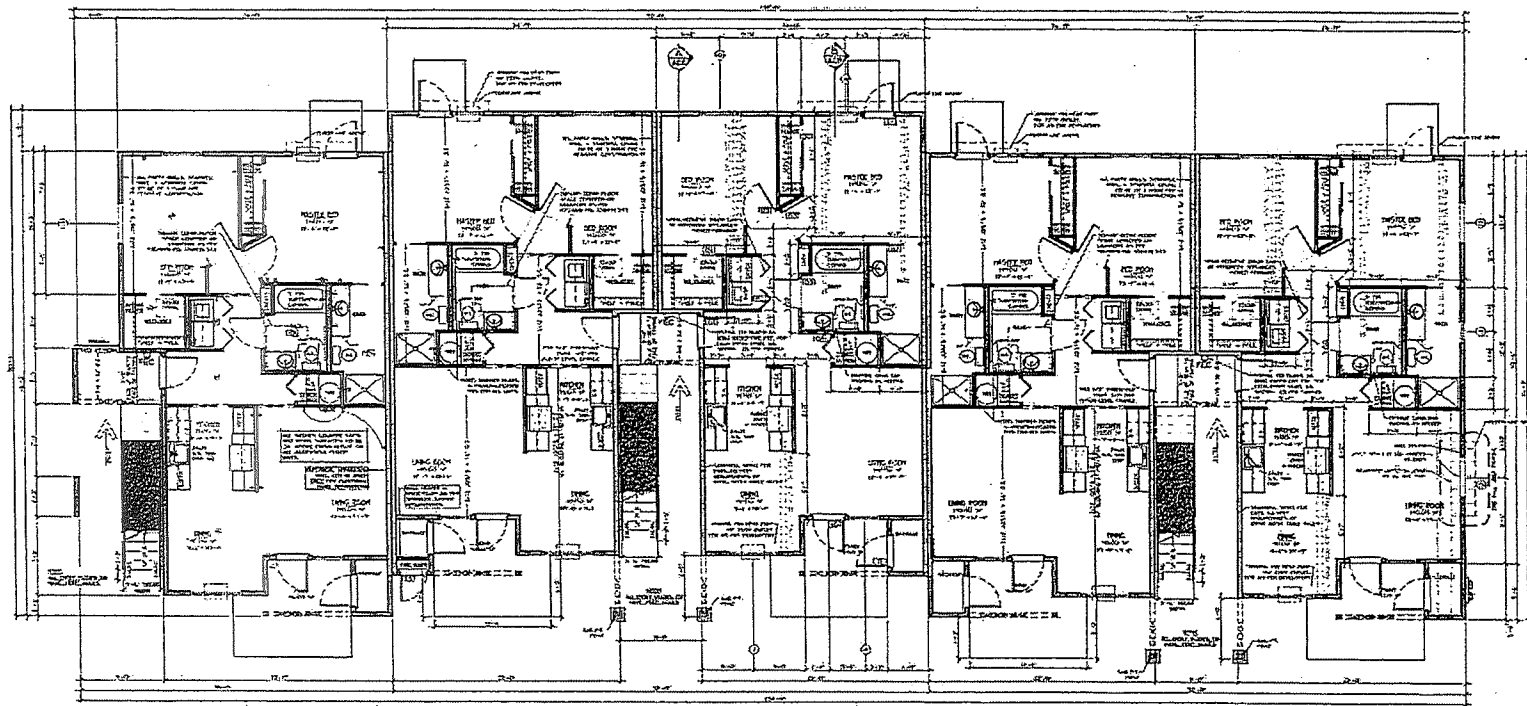


EXP. 06-30-2017

305 P 6125

SDR8





BLD 1 TYPE D UNITS
 INTERIOR FRAMING
 LOWER FLOOR PLAN
 CHANCEAP ADAPTABLE / ACCESSIBLE
 TYPE UNIT = 1028 S.F.

TYPE D UNIT
 INTERIOR FEATURES + JOIST FRAMING

TYPE D UNIT
 INTERIOR FEATURES + JOIST FRAMING

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	CONCRETE	1	CU YD	1.00
2	CEMENT	1	CU YD	1.00
3	GRAVEL	1	CU YD	1.00
4	ASPHALT	1	CU YD	1.00
5	BRICK	1	CU YD	1.00
6	ROOFING	1	CU YD	1.00
7	PAVING	1	CU YD	1.00
8	LANDSCAPING	1	CU YD	1.00
9	WATER	1	CU YD	1.00
10	ELECTRICITY	1	CU YD	1.00
11	PLUMBING	1	CU YD	1.00
12	MECHANICAL	1	CU YD	1.00
13	PAINT	1	CU YD	1.00
14	GLASS	1	CU YD	1.00
15	IRONWORK	1	CU YD	1.00
16	STEEL	1	CU YD	1.00
17	WOOD	1	CU YD	1.00
18	CEILING	1	CU YD	1.00
19	FLOORING	1	CU YD	1.00
20	WALLS	1	CU YD	1.00
21	DOORS	1	CU YD	1.00
22	WINDOWS	1	CU YD	1.00
23	STAIRS	1	CU YD	1.00
24	ELEVATORS	1	CU YD	1.00
25	COMMON AREAS	1	CU YD	1.00
26	ENTRYWAYS	1	CU YD	1.00
27	HALLWAYS	1	CU YD	1.00
28	CLIMATE CONTROL	1	CU YD	1.00
29	WATER SUPPLY	1	CU YD	1.00
30	SEWER	1	CU YD	1.00
31	VENTILATION	1	CU YD	1.00
32	INSULATION	1	CU YD	1.00
33	FOUNDATION	1	CU YD	1.00
34	ROOF DECK	1	CU YD	1.00
35	LANDSCAPE	1	CU YD	1.00
36	PAVING	1	CU YD	1.00
37	WATER	1	CU YD	1.00
38	ELECTRICITY	1	CU YD	1.00
39	PLUMBING	1	CU YD	1.00
40	MECHANICAL	1	CU YD	1.00
41	PAINT	1	CU YD	1.00
42	GLASS	1	CU YD	1.00
43	IRONWORK	1	CU YD	1.00
44	STEEL	1	CU YD	1.00
45	WOOD	1	CU YD	1.00
46	CEILING	1	CU YD	1.00
47	FLOORING	1	CU YD	1.00
48	WALLS	1	CU YD	1.00
49	DOORS	1	CU YD	1.00
50	WINDOWS	1	CU YD	1.00
51	STAIRS	1	CU YD	1.00
52	ELEVATORS	1	CU YD	1.00
53	COMMON AREAS	1	CU YD	1.00
54	ENTRYWAYS	1	CU YD	1.00
55	HALLWAYS	1	CU YD	1.00
56	CLIMATE CONTROL	1	CU YD	1.00
57	WATER SUPPLY	1	CU YD	1.00
58	SEWER	1	CU YD	1.00
59	VENTILATION	1	CU YD	1.00
60	INSULATION	1	CU YD	1.00
61	FOUNDATION	1	CU YD	1.00
62	ROOF DECK	1	CU YD	1.00
63	LANDSCAPE	1	CU YD	1.00
64	PAVING	1	CU YD	1.00
65	WATER	1	CU YD	1.00
66	ELECTRICITY	1	CU YD	1.00
67	PLUMBING	1	CU YD	1.00
68	MECHANICAL	1	CU YD	1.00
69	PAINT	1	CU YD	1.00
70	GLASS	1	CU YD	1.00
71	IRONWORK	1	CU YD	1.00
72	STEEL	1	CU YD	1.00
73	WOOD	1	CU YD	1.00
74	CEILING	1	CU YD	1.00
75	FLOORING	1	CU YD	1.00
76	WALLS	1	CU YD	1.00
77	DOORS	1	CU YD	1.00
78	WINDOWS	1	CU YD	1.00
79	STAIRS	1	CU YD	1.00
80	ELEVATORS	1	CU YD	1.00
81	COMMON AREAS	1	CU YD	1.00
82	ENTRYWAYS	1	CU YD	1.00
83	HALLWAYS	1	CU YD	1.00
84	CLIMATE CONTROL	1	CU YD	1.00
85	WATER SUPPLY	1	CU YD	1.00
86	SEWER	1	CU YD	1.00
87	VENTILATION	1	CU YD	1.00
88	INSULATION	1	CU YD	1.00
89	FOUNDATION	1	CU YD	1.00
90	ROOF DECK	1	CU YD	1.00
91	LANDSCAPE	1	CU YD	1.00
92	PAVING	1	CU YD	1.00
93	WATER	1	CU YD	1.00
94	ELECTRICITY	1	CU YD	1.00
95	PLUMBING	1	CU YD	1.00
96	MECHANICAL	1	CU YD	1.00
97	PAINT	1	CU YD	1.00
98	GLASS	1	CU YD	1.00
99	IRONWORK	1	CU YD	1.00
100	STEEL	1	CU YD	1.00

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC-ANSI A117.1 SECTION 504.4 AND 504.5.5.

NOTE: MAX U-VALUE FOR ALL WINDOWS AS PER TABLE 504.5.1, ICC-ANSI A117.1.

NOTE: WINDOW SILL HEIGHT SHALL BE A MINIMUM OF 30" ABOVE FINISH FLOOR SURFACE (O.C.) BE INSTALLED WITH WINDOW OPERATING CONTROL DEVICES IN COMPLIANCE WITH THE 2011 ICC-ANSI A117.1 SECTION 504.5.1 AND 504.5.2.

MULTI / TECH
 CONSULTANTS, P.C.
 1000 W. 10TH AVENUE, SUITE 1000
 DENVER, CO 80202
 (303) 733-1111
 WWW.MULTITECHPC.COM

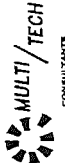
PEMBROKE STREET
APARTMENT COMPLEX

LOWER FLOOR
PLAN

NO CHANGES, MODIFICATIONS OR OMISSIONS TO BE MADE TO THIS PLAN WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. ANY CHANGES TO BE MADE TO THIS PLAN SHALL BE MADE BY A SEPARATE SET OF CHANGES TO BE PREPARED BY THE ARCHITECT.

ARCHITECT: MULTI/TECH CONSULTANTS, P.C.
 DESIGNER: J. L. LEE
 DRAWN BY: J. L. LEE
 CHECKED BY: J. L. LEE
 DATE: 01/15/10
 SCALE: AS SHOWN

A1.3

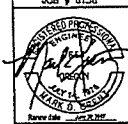


MAIN & UPPER
FLOOR PLAN

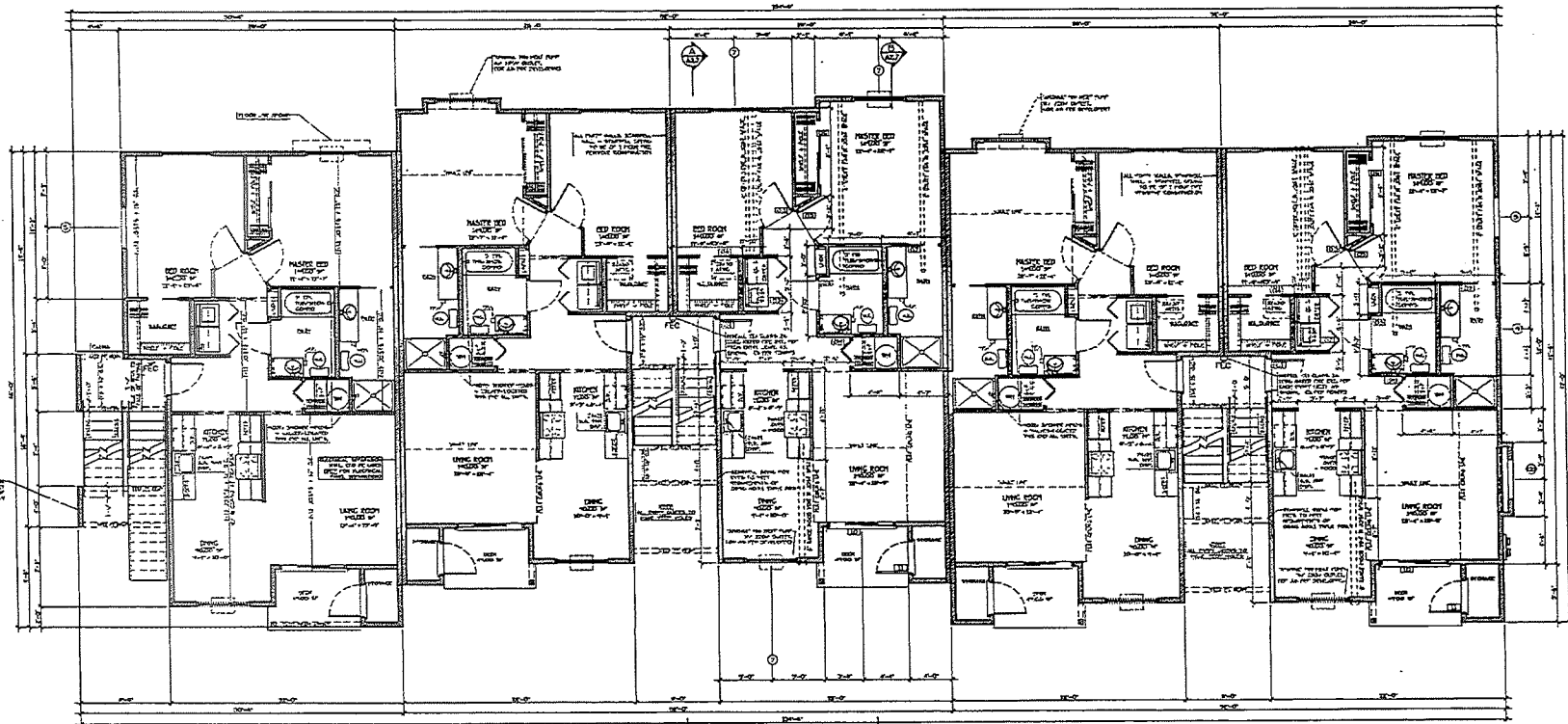
PEMBROOK STREET
APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR
REPRESENTATIONS TO BE MADE TO
THIS DRAWING WITHOUT THE WRITTEN
CONSENT OF THE DESIGNER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

DESIGNED BY: P.A.L.
DRAWN BY: A.L.O.
CHECKED BY: J.L.A.
DATE: JAN-18
SCALE: AS SHOWN



A1.4



INTERIOR FRAMING
TYPE D UNITS

UPPER FLOOR PLAN
TYPE D UNIT = 1028 S.F.
2-BED, 2-BATH

INTERIOR FEATURES + JOIST FRAMING
TYPE D UNIT

UPPER FLOOR PLAN
TYPE D UNIT = 1028 S.F.
2-BED, 2-BATH

INTERIOR FEATURES + JOIST FRAMING
TYPE D UNIT

BLD. 1

MAIN FLOOR PLAN
TYPE D UNIT = 1028 S.F.

ALL WINDOW AND PATIO DOOR HEADERS TO BE OF 4x12 U.N.G.

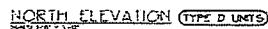
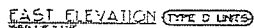
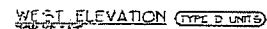
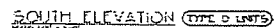
SIZE	TYPE	TYPE	COLOR	REMARKS	HEADERS
1.3.15	WIND. STAY	FLGARD WHITE	YES	STATIONARY	OF 4x12
1.3.16	WIND. STAY	FLGARD WHITE	YES	STATIONARY	OF 4x12
1.3.40	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.50	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.17	WIND. DOOR	FLGARD WHITE	YES	STATIONARY	OF 4x12
1.3.20	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.21	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.22	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.23	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.24	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.25	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.26	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.27	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.28	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.29	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.30	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.31	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.32	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.33	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.34	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.35	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.36	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.37	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.38	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.39	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.40	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.41	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.42	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.43	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.44	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.45	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.46	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.47	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.48	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.49	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.50	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.51	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.52	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.53	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.54	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.55	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.56	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.57	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.58	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.59	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.60	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.61	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.62	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.63	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.64	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.65	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.66	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.67	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.68	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.69	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.70	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.71	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.72	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.73	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.74	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.75	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.76	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.77	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.78	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.79	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.80	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.81	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.82	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.83	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.84	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.85	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.86	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.87	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.88	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.89	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.90	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.91	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.92	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.93	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.94	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.95	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.96	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.97	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.98	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.3.99	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12
1.4.00	WIND. DOOR	FLGARD WHITE	YES	SINGLE HUNG W/ SCREEN	OF 4x12

1.4. LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH 2014 IBC CHAPTER 12 SEC. 1207.2 ON
WHICH ADDS THEN SEC. 1207.2. OPERABLE PARTS SHALL COMPLY WITH SEC. 204. SEE OPERABLE WINDOWS IN
BLG LOCATIONS' DETAIL ON SHEET A1.1-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" AFF. U.N.G.

NOTE: ALL ACCESSIBLE DOORS SHALL BE
PROVIDED WITH LEVER DOOR HARDWARE +
OTHER OPERATING DEVICES IN COMPLIANCE WITH
ICC/ANSI A117.1 SECTIONS 304.4 AND 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS
PER TABLE 502.3 2014 IEBC U-0.35.

NOTE: WINDOW SALLS MORE THAN 72" ABOVE
FINISH GRADE SHALL BE A MINIMUM OF 36"
ABOVE FINISH FLOOR SURFACE COO BE
INSTALLED WITH WINDOW OPENING CONTROL
DEVICES IN COMPLIANCE WITH THE 2014
OSGC SECTIONS 103.3.3.1 AND 102.7.4.

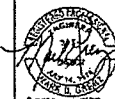


BUILDING ELEVATIONS

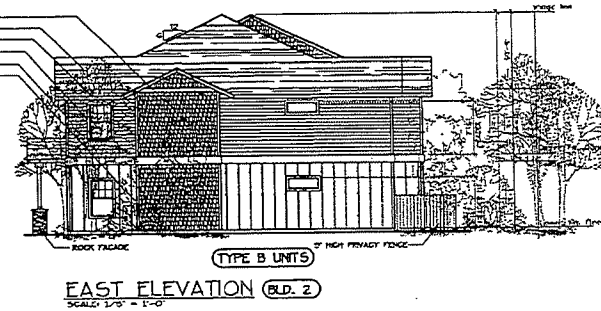
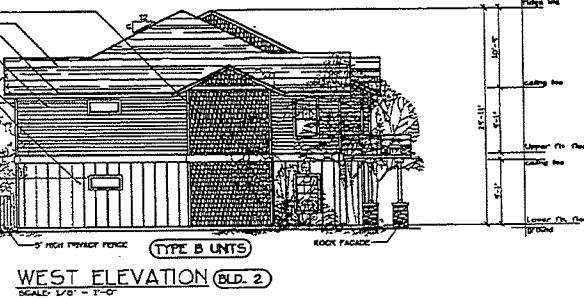
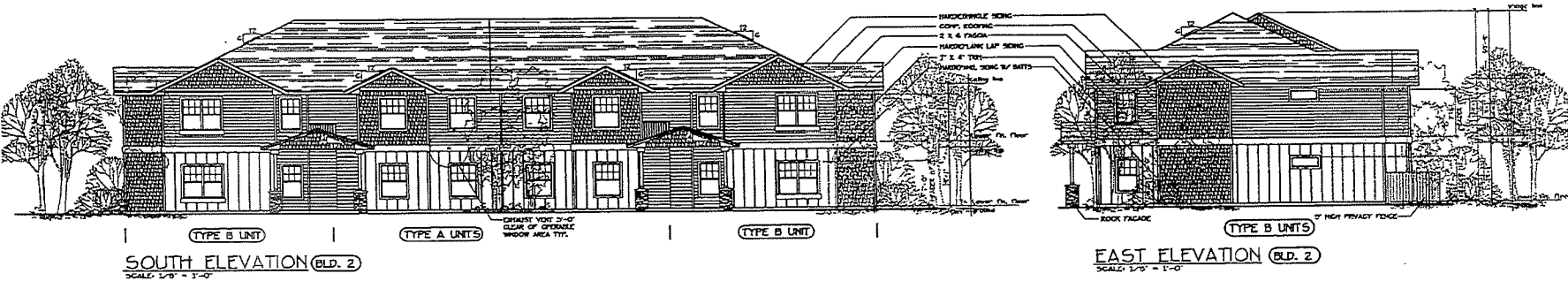
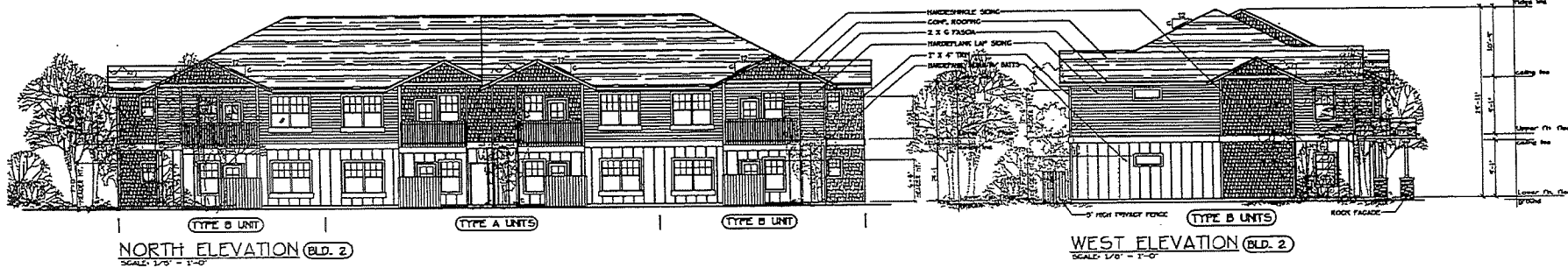
PEMBROOK STREET
APARTMENT COMPLEX

THE CHANGING NEEDS OF THE
RESEARCHERS IN THE AREA OF
HISTORICAL RESEARCH
AND THE NEED FOR
ANALYSIS.

Design	P.L.U.
Exptn	G.D.
Character	M.D.
Date	11-11-19
Scale	15 mm



A1.8



BUILDING ELEVATIONS

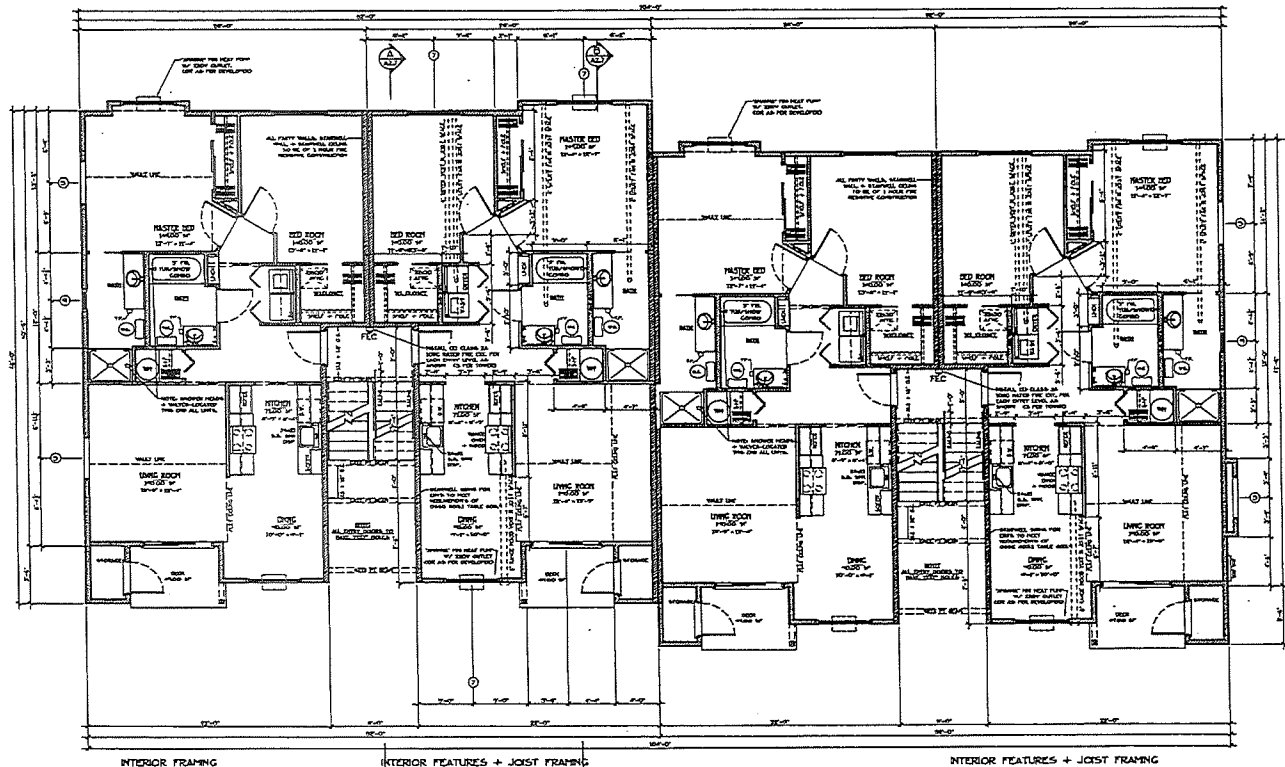
PEMBROOK STREET APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR REPRODUCTION TO BE MADE TO THIS DOCUMENT WITHOUT THE WRITTEN AUTHORIZATION FROM THE DESIGN FIRM.

DESIGNER: PLU
 DRAWN: JLD
 CHECKED: JLD
 DATE: JUL-18
 SCALE: AS SHOWN

JOB # 6136





BLD. 3
UPPER FLOOR PLAN
D-UNIT = 102B S.E.
CONSTRUCTION TYPE V & S REQUIRED FOR SHEET SET APPLICATION

ALL WINDOW AND PATIO DOOR HEADERS TO BE OF #3 4x12 UNLS.

S	SIZE	TYPE	MTG.	GLASS	REMARKS	REMARKS
1	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	OF #3 4x12
2	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
3	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
4	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
5	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
6	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
7	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
8	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
9	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
10	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
11	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
12	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
13	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
14	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
15	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
16	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
17	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
18	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
19	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	
20	3'0" x 7'6"	WIND. STAY	ALUMINUM	WHITE	STATIONARY	

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH U.S.S.C. 2014 CHAPTER 11 SEC. 1101.2 ON 0 60/400 SERIES WITH SEC. 102.4. OPERABLE PARTS SHALL COMPLY WITH SEC. 304. SEE "OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS" DETAIL ON SHEET ADA-3. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" AFF. UNLS.

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. AND 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 302.3 2014 OESG U-0.35.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (O.D.) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OESG SECTIONS 303.3.1 AND 303.4.

MULTI/TECH
CONSULTANTS
ARCHITECTS, ENGINEERS, INC.
1111 10TH ST. SE SUITE 100
ALBUQUERQUE, NM 87102

**UPPER
FLOOR PLAN**

**PEMBROOK STREET
APARTMENT COMPLEX**

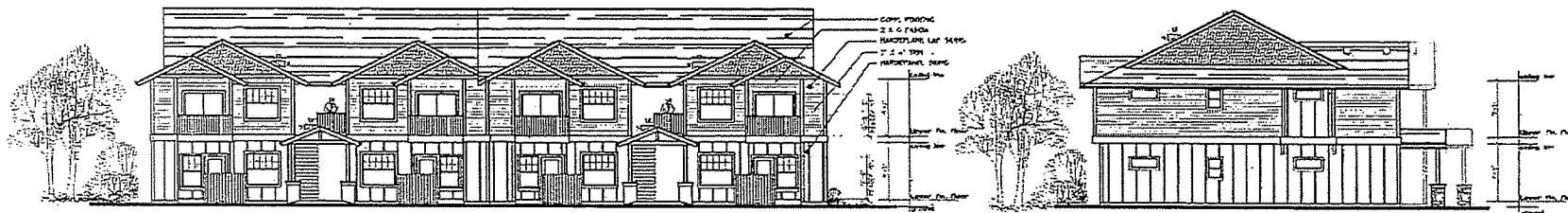
NO CHANGE, UNLESS OTHERWISE NOTED, TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.

DESIGN: P.A.U.
DRAWING: J.D.B.
CHECKED: J.D.B.
DATE: 10/1/14

JOB # 6138

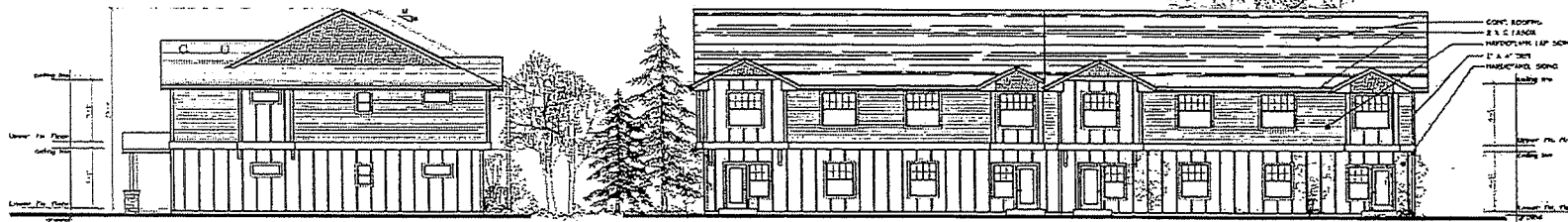
REVISIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL

A3.4



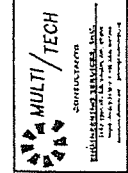
SOUTH ELEVATION (TYPE D UNITS)

WEST ELEVATION (TYPE D UNITS)



EAST ELEVATION (TYPE D UNITS)

NORTH ELEVATION (TYPE D UNITS)

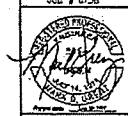


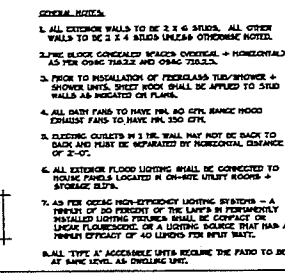
**BUILDING
ELEVATIONS**

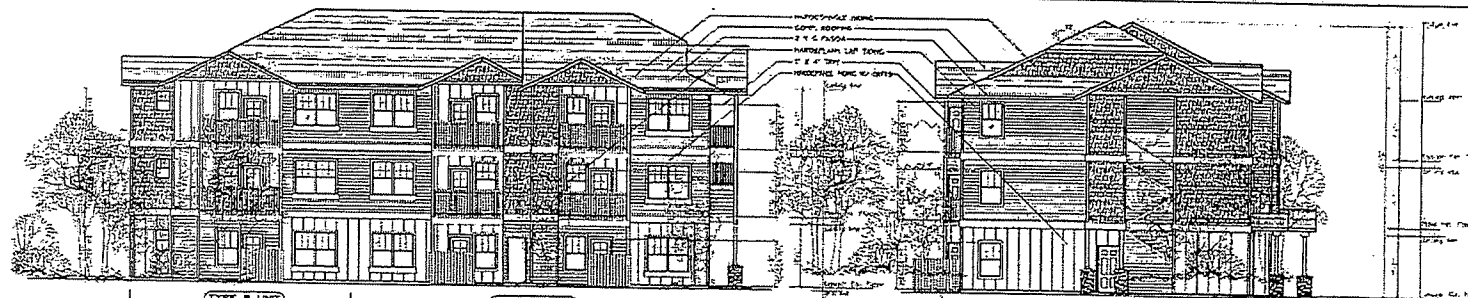
**PEMBROKE STREET
APARTMENT COMPLEX**

NO DIMENSION INDICATORS OR
REFERENCES TO BE MADE TO
DIMENSIONS TO BE MADE TO
DIMENSIONS TO BE MADE TO
DIMENSIONS TO BE MADE TO
DIMENSIONS TO BE MADE TO
DIMENSIONS TO BE MADE TO

Design: P.L.W.
Drawn: S.L.O.
Checked: J.M.D.
Date: JUNE
Scale: AS SHOWN







EAST ELEVATION (BLD. 4)

NORTH ELEVATION (BLD. 4)



WEST ELEVATION (BLD. 4)

SOUTH ELEVATION (BLD. 4)

300 MULTI / TECH
300

CONSULTING ENGINEER
JAMES W. WOODS, JR.
JAMES W. WOODS & ASSOCIATES, INC.
1000 N. 10TH ST., SUITE 100
DENVER, CO 80202

BUILDING ELEVATIONS

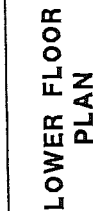
PEMBROOK STREET APARTMENT COMPLEX

NO CHANGE, ADDITIONS OR
MODIFICATIONS TO BE MADE TO
THIS DRAWING WITHOUT THE DESIGN
ENGINEER'S APPROVAL.
REVISIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
PRESENTATION.

DESIGN: F.W.
CHECKED: J.W.
DATE: 10/15
SCALE: AS SHOWN



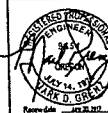
A4.8



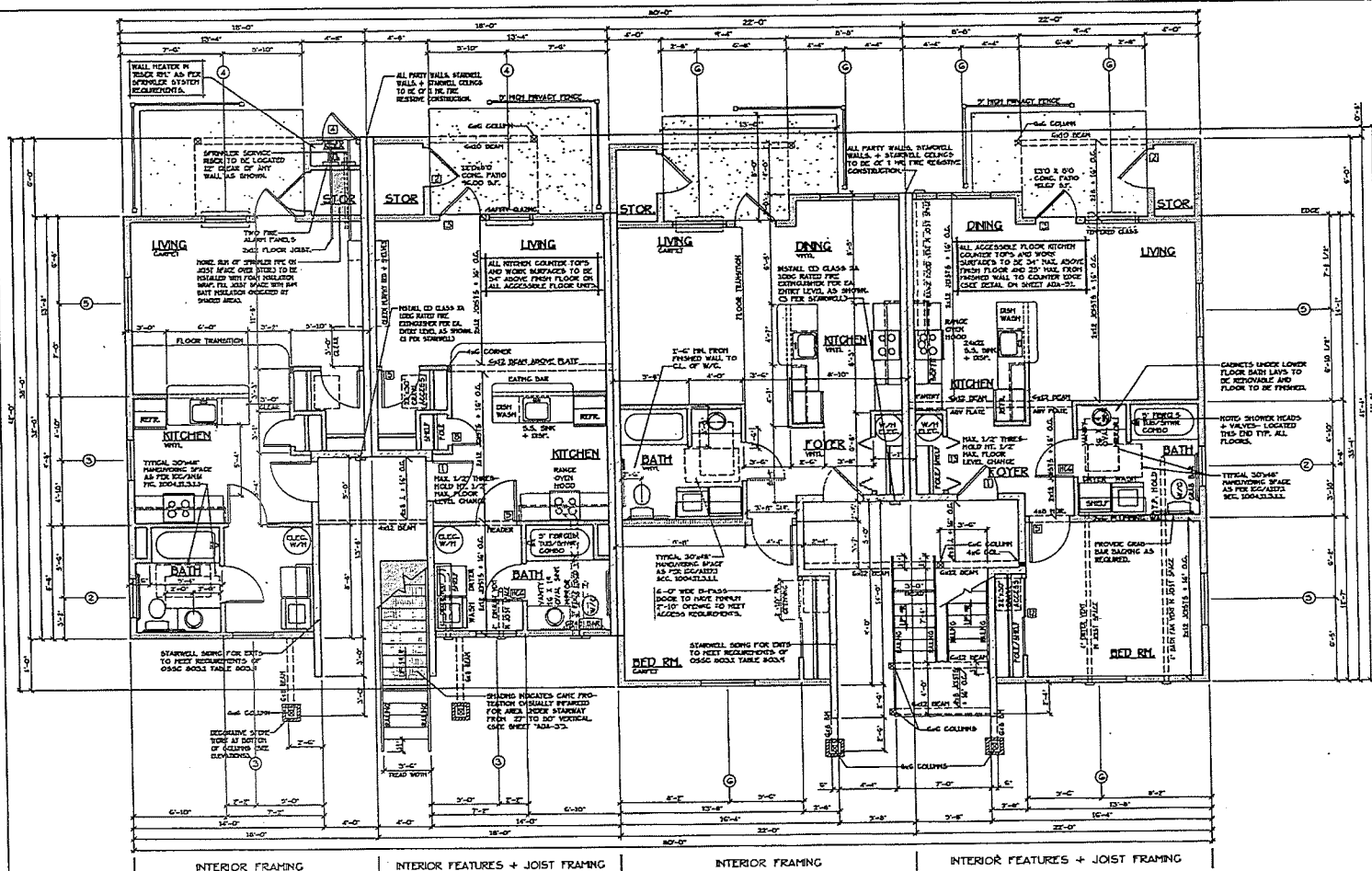
**PEMBROOK STREET
APARTMENT COMPLEX**

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.

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Checked: M.O.G.
Date: 3-1-18
Scale: AS SHOWN



A5.3



LOWER FLOOR PLAN

CHANDICAP ADAPTABLE/ACCESSIBLE

E. UNIT = 547 S.F.

"C" UNIT = 728 S.F.

TYPE E UNITS

BLD. 5

CONSTRUCTION TYPE V & SPRINKLED
SEE WALL DETAIL SHEETS FOR
SHEETROCK APPLICATION

TYPE C UNITS

DOOR SCHEDULE									
		DOORS		FRAMES				REMARKS	
NO.	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	FINISH	TYPE		FINISH
101	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	SPRING TO BE INST. INST. BY THE WORK WINDOW ROOMS C. FLOOR BY THE DOOR. WEATHERSTRIpping AND INTERIOR C. FLOOR BY THE DOOR. LAMIN. LOCK, THRESHOLD AND WEATHERSTRIpping BY INTERIOR ROOMS. BY INTERIOR WORK WINDOW AND EXTERIOR LOCK.
102	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
103	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
104	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
105	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
106	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
107	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
108	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
109	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
110	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
111	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
112	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
113	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
114	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
115	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
116	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
117	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
118	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
119	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
120	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
121	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
122	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
123	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
124	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
125	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
126	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
127	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
128	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
129	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
130	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
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135	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
136	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
137	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
138	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
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140	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
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142	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
143	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
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146	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
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148	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
149	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
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152	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
153	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
154	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
155	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
156	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
157	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
158	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
159	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
160	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
161	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
162	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
163	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
164	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
165	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
166	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
167	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
168	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
169	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
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171	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
172	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
173	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
174	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
175	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
176	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
177	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
178	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
179	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
180	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
181	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
182	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
183	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
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185	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
186	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
187	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
188	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
189	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
190	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
191	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
192	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
193	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
194	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
195	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
196	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
197	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
198	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
199	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	
200	2'-0"	7'-0"	2 1/2"	GLASS	SLIDING	ALUMINUM	SLIDING	ALUMINUM	

ALL WINDOW AND PATIO DOOR HEADERS TO BE OF #1 4x12 UN.G.

[illegible]

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH C.S.G.C. 2014 CHAPTER II SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.4. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE "OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS" DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" AFF. UNCL.

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. AND 404.2.G

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 DEC5G U-0.35.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (COP) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OSGC SECTIONS 1023.01 AND 1029.4.

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
2. FLOOR JOISTS GALVALUME INSULATED + HORIZONTAL AS PER DRAC 712.223 AND 0796 712.23.
3. PRIOR TO INSTALLATION OF FLOORCLASH TRIM/BROWER + SHOWER LINEN SHEET BENCH SHALL BE ATTACHED TO STUDS WITH NAILS INDICATED ON PLAN.
4. ALL BATH FANS TO HAVE FR. 80 GPM RANGE HOOD COMBUST FANS TO HAVE FR. 120 CFM.
5. ELDERING OUTLETS IN 3RD FL. MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY MINORCEMENT. DISTANCE OF 2'-0".
6. EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO NEAREST PANEL LOCATED IN ON-SITE UTILITY ROOMS + ALLOWANCE MADE.
7. AS PER DESIGN HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 30 PERCENT OF THE LAMP'S IN COMPLIANCE WITH THE ENERGY STAR PROGRAM SHALL BE INSTALLED. INSTALLED LIGHTING FIXTURES SHALL BE CONFORM TO ENERGY STAR PROGRAM REQUIREMENTS. THAT HAS

SEE "GENERAL STRUCTURAL NOTES"
ON SHEET A5.2 BEFORE BEGINNING
ANY CONSTRUCTION.

HANDICAP UNIT NOTES:

THE UNITS HAVE BEEN DESIGNED TO COMPLY WITH OSMC 2014 REVISED TO BE EFFECTIVE APRIL 2, 2014. CHAPTER II OF THE OSMC 2014 AS REVISED INCORPORATES AS PART OF IT, AMERICAN NATIONAL STANDARD ECN/AISI A313-1000, WITH ECN/AISI A313. CHAPTER 10 SETS OUT SPECIFIC CODE REQUIREMENTS FOR DWELLING AND SLEEPING UNITS. CHAPTER 10 SETS OUT THE CODE REQUIREMENTS THAT ALL GROUND FLOOR UNITS MUST MEET.

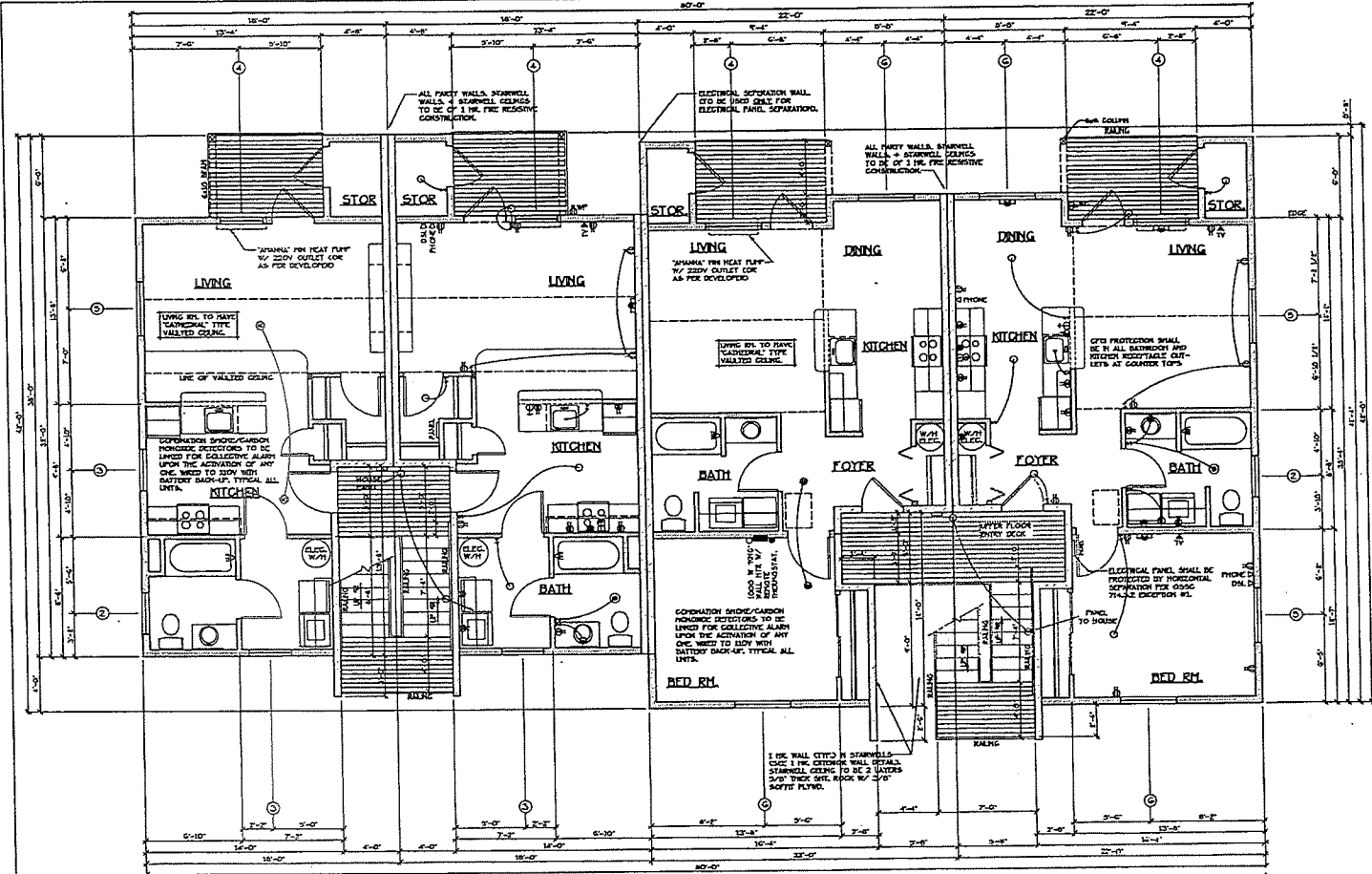
THE INTENT IS THAT "ALL" GROUND FLOOR UNITS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.

WITHIN THE PROJECT THERE ARE TYPE "A" UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN 40CFR/101.101 APPENDIX A, CHAPTER 20, SECTION 1003.

WITHIN THE PROJECT THERE ARE ALSO TYPE 'B' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN EC/AMN ANNEX CHAPTER 2 SECTION 2004.

ATTACHED TO THE DRAWING SETS ARE OUR SHEETS A2A-E THRU D THAT SET OUT SPECIFIC INFORMATION FROM OBC 2014, CHAPTER 10 AS WELL AS THE REFERENCED DOCUMENTS. THE DRAWINGS SET OUT SPECIFIC MINIMUM ELEMENTS AND DIMENSIONS THAT MUST BE MET TO ASSURE COMPLIANCE WITH THIS CODE.

D. ALL TYPE A ACCESSIBLE UNITS REQUIRE THE PATH TO BE AT SAME LEVEL AS ENTRYING UNIT.



CADET HEATING + SMOKE/CARBON MONOXIDE DETECTORS | ELECTRICAL Ⓢ - HEATER/LIGHT/FAN | CADET HEATING + SMOKE/CARBON MONOXIDE DETECTORS | ELECTRICAL Ⓢ - HEATER/LIGHT/FAN

UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
"E" UNIT = 547 S.F.
"C" UNIT = 728 S.F.

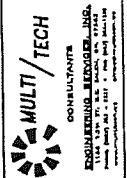
TYPE E UNITS
B.L.D. 5
CONSTRUCTION TYPE V.B. SPRINKLED
SEE WALL DETAIL SHEETS FOR SPECTROLOGY APPLICATION.

TYPE C UNITS

DOOR SCHEDULE									
NO.	UNIT	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD
101	101	101	101	101	101	101	101	101	101
102	102	102	102	102	102	102	102	102	102
103	103	103	103	103	103	103	103	103	103
104	104	104	104	104	104	104	104	104	104

WINDOW SCHEDULE									
NO.	UNIT	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD	THRESHOLD
101	101	101	101	101	101	101	101	101	101
102	102	102	102	102	102	102	102	102	102
103	103	103	103	103	103	103	103	103	103
104	104	104	104	104	104	104	104	104	104

CONSTRUCTION TYPE V.B. SPRINKLED.



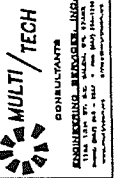
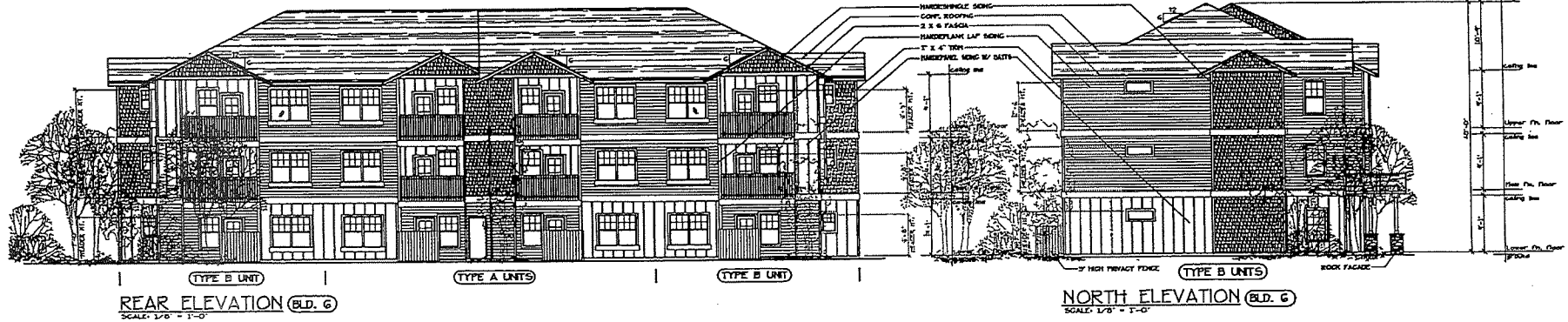
BUILDING ELEVATIONS

PEMBROKE STREET APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR
 ADDITIONS TO THESE DRAWINGS
 SHALL BE MADE WITHOUT THE WRITTEN
 AUTHORIZATION OF THE DESIGN
 ENGINEER.
 DIMENSIONS & NOTES TAKE
 PRECEDENCE OVER GRAPHICAL
 REPRESENTATION.

DESIGNED BY: D.L.L.
 DRAWN BY: D.L.L.
 CHECKED BY: J.B.B.
 DATE: JUL-18
 SCALE: AS SHOWN
 JOB # 0134





BUILDING ELEVATIONS

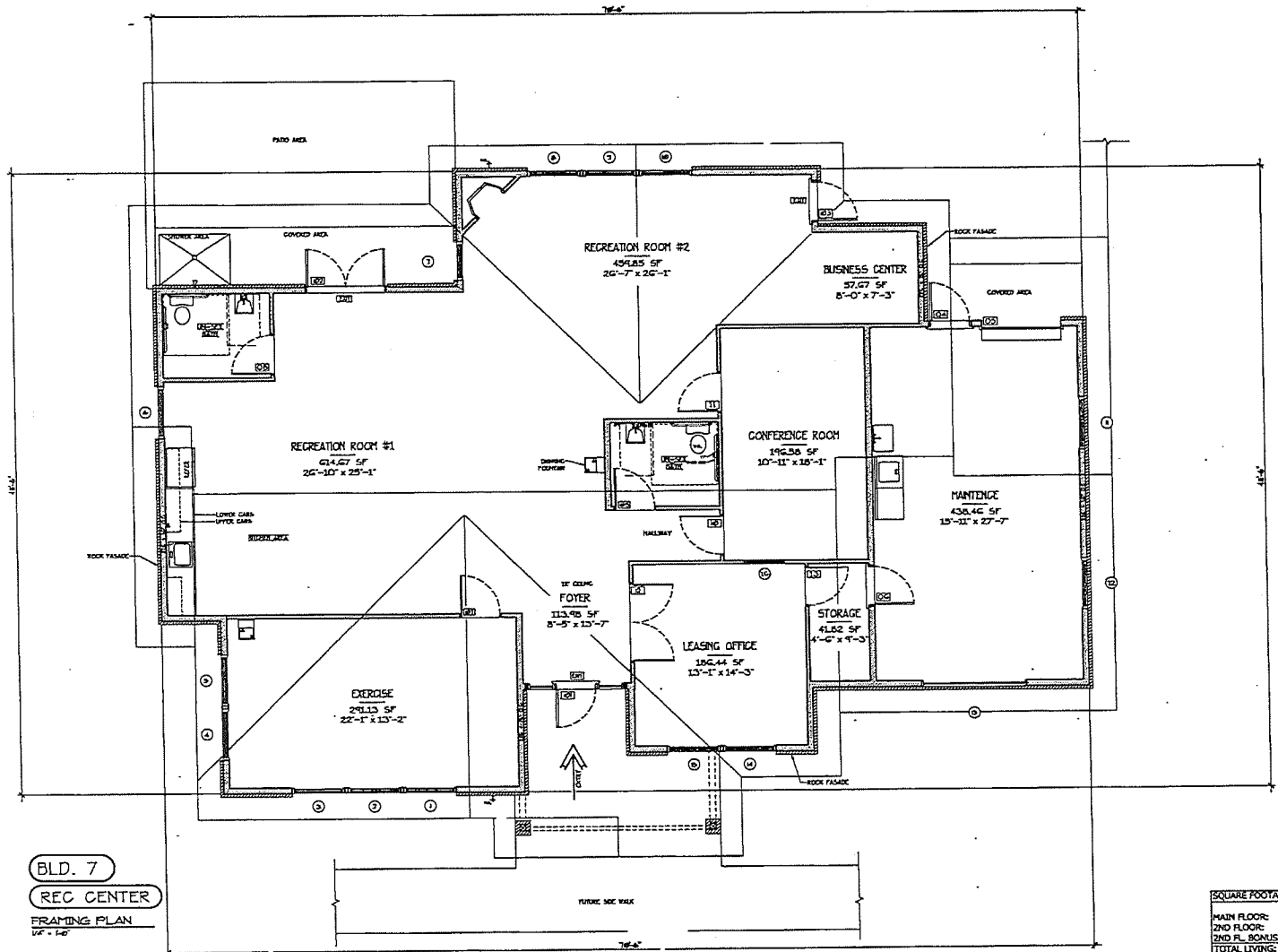
PEMBROOK STREET APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR
CORRECTIONS TO THESE ELEVATIONS
SHALL BE MADE WITHOUT WRITTEN
AUTORIZATION FROM THE DESIGN
FIRM.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

DESIGNED BY
Design: J.A.L.
Drawn: J.L.D.
Checked: J.L.G.
Date: 04-18
Scale: AS SHOWN



A6.8



BLD. 7
REC CENTER
FRAMING PLAN
1/4" = 1'-0"

SQUARE FOOTAGE	
MAIN FLOOR:	2697 SQ.FT.
2ND FLOOR:	0000 SQ.FT.
2ND FL. BOARDS:	0 SQ.FT.
TOTAL LIVING:	2697 SQ.FT.
GARAGE:	0000 SQ.FT.

DOOR AND FRAME SCHEDULE									
NO.	DOOR	DOOR TYPE	DOOR FINISH	FRAME	FRAME FINISH	FRAME TYPE	FRAME FINISH	FRAME TYPE	FRAME FINISH
1	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
2	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
3	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
4	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
5	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
6	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
7	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
8	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
9	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
10	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
11	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
12	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
13	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
14	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
15	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM

NO.	DOOR	DOOR TYPE	DOOR FINISH	FRAME	FRAME FINISH	FRAME TYPE	FRAME FINISH	FRAME TYPE	FRAME FINISH
1	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
2	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
3	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
4	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
5	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
6	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
7	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
8	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
9	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
10	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
11	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
12	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
13	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
14	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM
15	2'-0" x 7'-0"	GLASS	GLASS	FRAM	FRAM	FRAM	FRAM	FRAM	FRAM



FRAMING PLAN

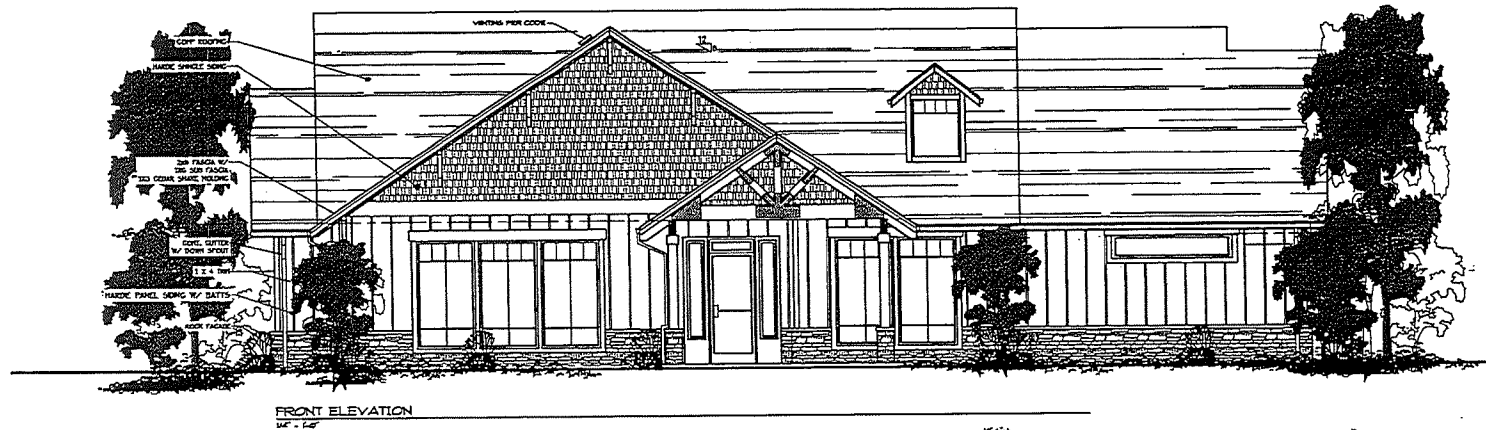
PEMBROOK STREET APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THIS PLAN WITHOUT THE WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

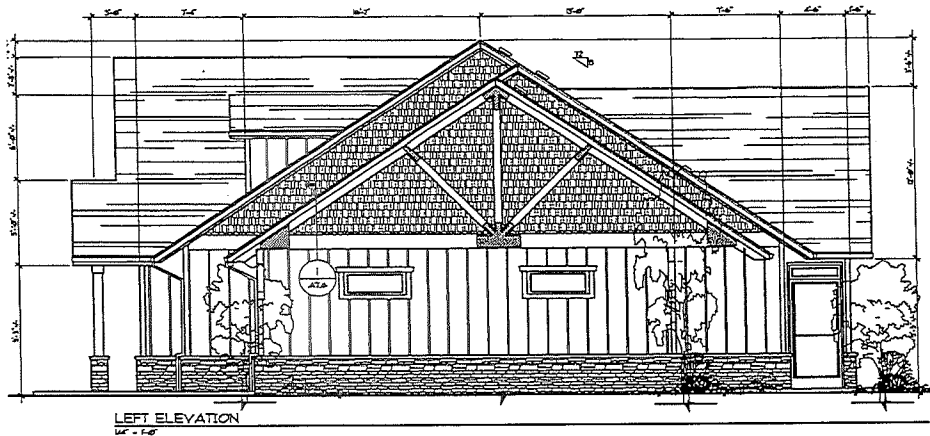
Design: J.L.L.
Drawn: S.P.A.
Checked: M.D.S.
Date: JULY 2018
Scale: AS SHOWN



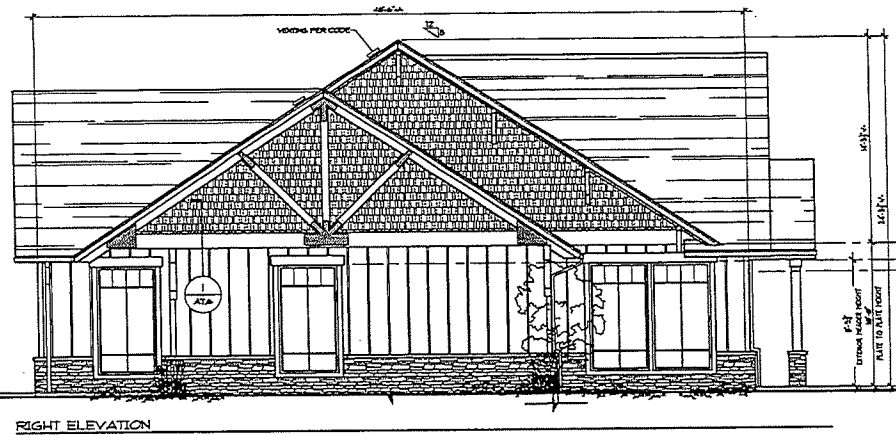
A7.3



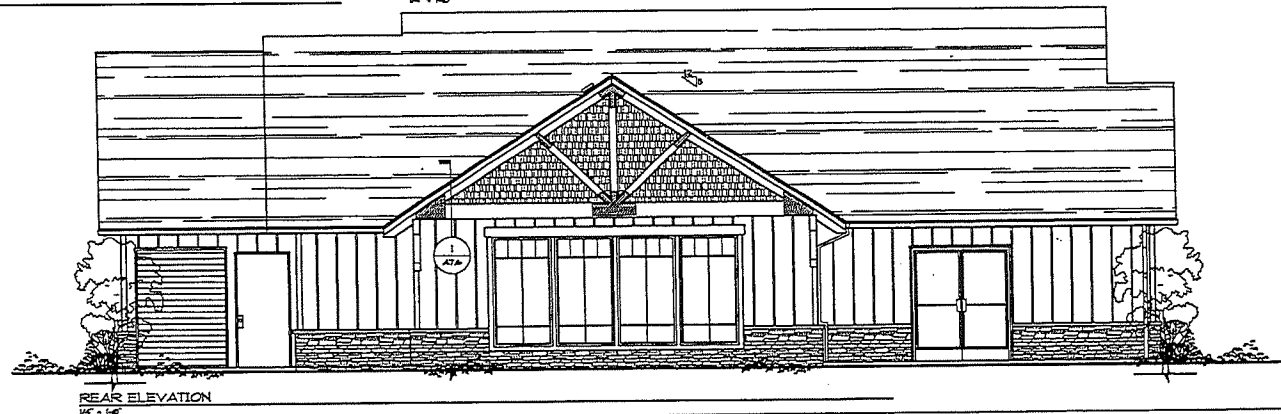
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



ELEVATION PLAN

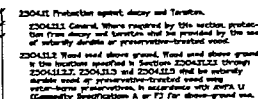
PEMBROKE STREET APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR
EXPLANATIONS TO BE MADE TO
THIS DRAWING WITHOUT THE
APPROVAL OF THE DESIGN
ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

DESIGN: ELM.
DRAWN: SPJ.
CHECKED: M.A.
DATE: JUNE 2018
SCALE: AS SHOWN



A7.6



ELECTRICAL © - HEAT/RELIGHT/PA

ALL WINDOW AND PATIO DOOR HEADERS TO BE DF #1 4x12 U.L.G.							
WINDOW SCHEDULE							
Q	SIZE	TYPE	FINEL	COLOR	FINEL	REMARKS	
1	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	DF #1 4x12
2	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
3	3'0" x 4'0"	WNTL	SLAT	W/HEAD	WHITE	SHRDLG W/HC W/ SCRDN	
4	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	SHRDLG W/HC W/ SCRDN	
5	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
6	4'0" x 2'0"	WNTL	SLAT	W/HEAD	WHITE	SHRDLG W/HC W/ SCRDN	
7	4'0" x 2'0"	WNTL	SLAT	W/HEAD	WHITE	SHRDLG W/HC W/ SCRDN	
8	4'0" x 2'0"	WNTL	SLAT	W/HEAD	WHITE	SHRDLG W/HC W/ SCRDN	
9	4'0" x 2'0"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
10	4'0" x 2'0"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
11	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
12	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
13	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
14	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
15	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
16	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
17	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
18	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
19	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
20	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
21	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
22	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
23	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
24	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
25	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
26	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
27	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
28	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
29	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
30	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
31	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
32	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
33	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
34	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
35	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
36	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
37	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
38	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
39	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
40	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
41	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
42	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
43	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
44	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
45	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
46	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
47	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
48	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
49	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
50	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
51	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
52	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
53	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
54	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
55	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
56	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
57	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
58	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
59	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
60	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
61	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
62	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
63	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
64	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
65	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
66	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
67	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
68	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
69	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
70	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
71	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
72	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
73	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
74	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
75	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
76	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
77	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
78	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
79	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
80	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
81	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
82	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
83	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
84	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
85	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
86	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
87	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
88	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
89	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
90	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
91	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
92	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
93	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
94	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
95	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
96	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
97	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
98	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
99	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	
100	2'0" x 1'6"	WNTL	SLAT	W/HEAD	WHITE	STATIONARY	

1. ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH G.A.S.E. 2014 CHAPTER 16 SEC. 1607.2 ON
 2. TO ALL WINDOWS WITH THESE FINEL PATIO SCREENS SEE SPEC. 301. 4x6 OPERABLE WINDOWS IN
 ACCESSIBLE LOCATIONS' DETAIL ON SHEET AREA-3. ALL LOWER FLOOR OPERABLE WINDOWS TO BE SET AT 7'-0" AFF. UNLSD.

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVERED DOOR HARDWARE & OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4.1, AND 402.2.1

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 OESG U-0.35.

NOTE: WINDOW SHALL MORE THAN 2" ABOVE FRESH GRADE SHALL BE MINIMUM OF 36" ABOVE FIRST FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPERING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OESG SECTIONS 1013.8.1 AND 1024.1.

PERSONAL NOTES

1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
2. FLOOR GONCELS SPACES VERTICAL + HORIZONTAL AS FOR BLOCK WALLS AND SPACES 21X23.
3. PRIOR TO INSTALLATION OF TRUCKLASS/STUD/HANGER + SPOKER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
4. ALL DASH FANS TO HAVE 1MR. NO CFT. RANGE HOOD EXTRACT FANS TO HAVE 1MR. C50 CFT.
5. ELECTRIC OUTLETS IN 1MR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL CENTERLINE OF 2'-0".
6. ALL EXTERIOR FLOOR LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDG.
7. AS FOR OCEAN MHI-EFFICIENCY LIGHTING SYSTEMS - A.

SEE "GENERAL STRUCTURAL NOTES"
ON SHEET AB.2 BEFORE BEGINNING
ANY CONSTRUCTION.

[illegible]



FLOOR DIAPHRAGM NAILING:
Bd NAILS AT 6" O.C. AT EDGE.
Bd NAILS AT 12" O.C. IN FIELD.

ALL WINDOW AND PATIO DOOR HEADERS TO BE DF #1 4x12 U.N.O.

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.G. 2014 CHAPTER 11 SEC. 1107.2 OR TO ICC/ANSI A117.1 THEN SEC. 1002.4. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE "OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS" DETAIL ON SHEET ADA-3. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" A.F.F. UNLESS OTHERWISE NOTED.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE AND BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OSGC SECTIONS 1013.8.1 AND 1029.4.

CONSTRUCTION TYPE V B SPRINKLED.

SEE "GENERAL STRUCTURAL NOTES"
ON SHEET AB.2 BEFORE BEGINNING
ANY CONSTRUCTION.

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS, ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
2. 3/8" BOLD CONCRETE REINFORCED (VERTICAL & HORIZONTAL) AT 16" ON CENTER.
3. PRIOR TO INSTALLATION OF FLOORSLAB-TYPEFORMWORK BRACKETS, STUDS, SHEET ROCK, BE APPLIED TO SHUO WALLS AS INDICATED ON PLANS.
4. ALL DRAIN TAPS TO HAVE NIP, NO HOT RANAGE HOWE EVER, CAPS TO BE PLACED TO MATCH FINISH.
5. ELAVING OUTLETS IN THE WALL MAY NOT BE MADE TO QUOTE, AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 12" MIN.
6. ALL EXTERIOR FLOOR LIGHTING SHALL BE CONNECTED TO HOUSE PANEL LOCATED IN OFF-SITE UTILITY ROOMS - STORAGE BILPS.
7. AS FOR ACCESS (HORIZONTAL) LIGHTING SYSTEMS - A MINIMUM OF 12" CLEARANCE OF THE LIGHTS IS RECOMMENDED. INSTALLED LIGHTING DEVICES SHALL BE COORDINATE WITH THE FINISH OF THE WALLS AND CEILING. PROVIDE A MINIMUM CLEARANCE OF 40 INCHES FOR INQUIRY MATS.
8. ALL "TYPE A" ACCESSIBLE WALLS REQUIRING THE PATIO TO BE 24" MINIMUM CLEARANCE.



UPPER FLOOR PLAN

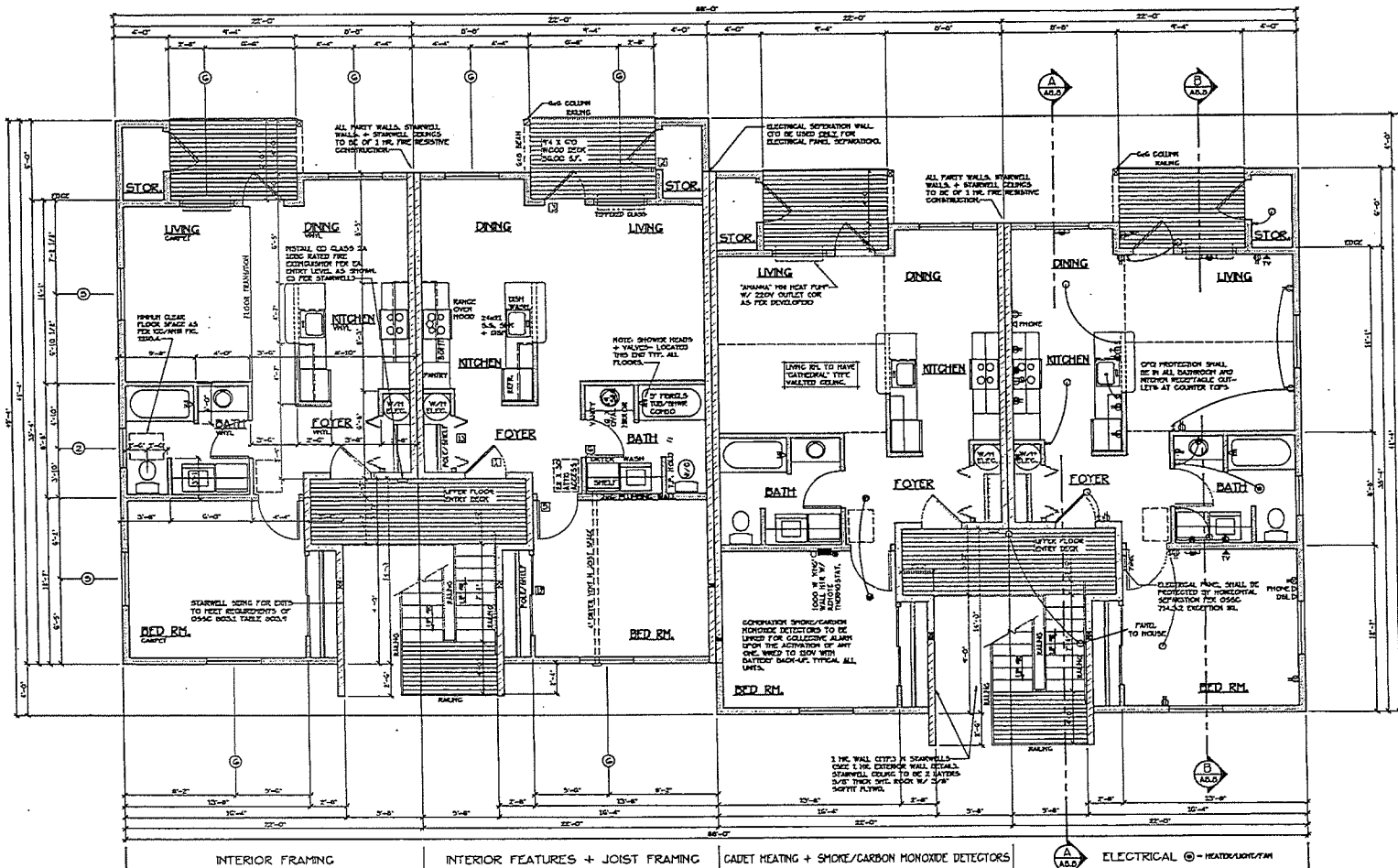
PEMBROOK STREET APARTMENT COMPLEX

NO UNLESS MODIFICATIONS OR RECONSTRUCTIONS TO BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DATE: 10/1/14
DRAWN: JLD
CHECKED: JLD
DATE: 10/1/14
SCALE: AS SHOWN
JOB # 0126



A8.5



UPPER FLOOR PLAN
SCALE 1/8" = 1'-0"
'C' UNIT = 728 S.F.

TYPE C UNITS

BLD. 8

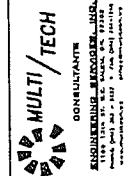
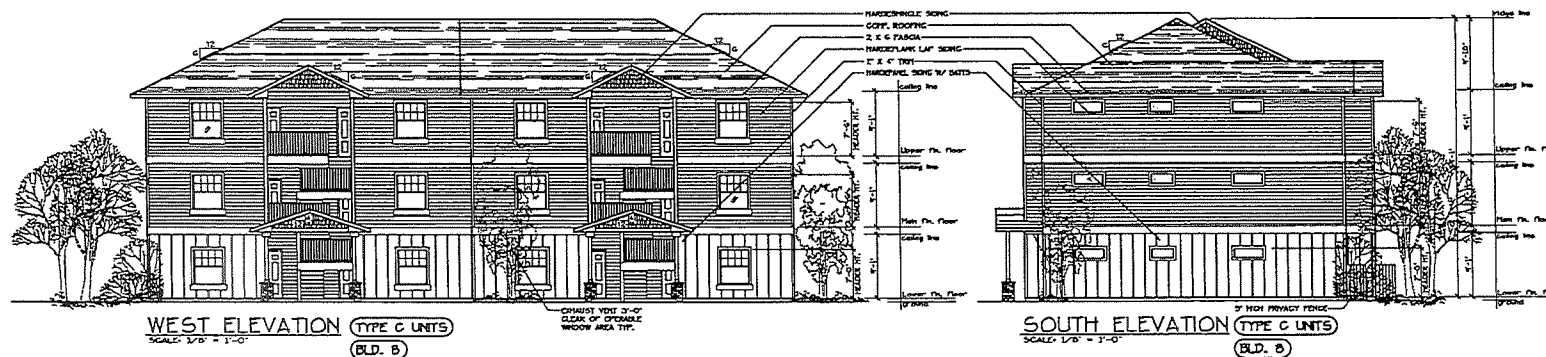
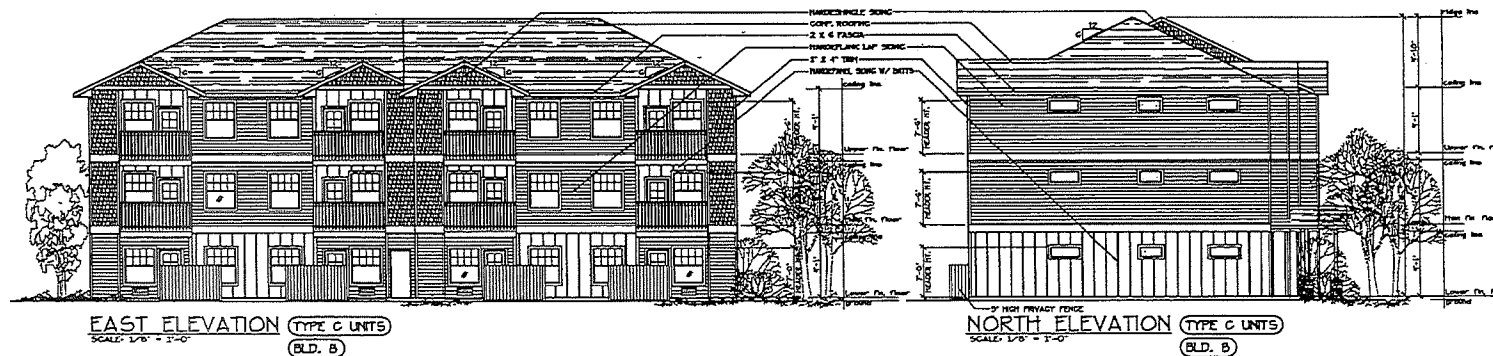
CONSTRUCTION TYPE V.B. SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION

FLOOR FINISHES: 8d NAILS AT 6" O.C. AT EDGE, 8d NAILS AT 12" O.C. IN FIELD.

DOOR SCHEDULE									
NO.	SYMBOL	LOCATION	TYPE	FRAME	FINISH	REMARKS	NO.	SYMBOL	LOCATION
1	1-1	1-1	1-1	1-1	1-1	1-1	2	2-1	2-1
2	2-1	2-1	2-1	2-1	2-1	2-1	3	3-1	3-1
3	3-1	3-1	3-1	3-1	3-1	3-1	4	4-1	4-1
4	4-1	4-1	4-1	4-1	4-1	4-1	5	5-1	5-1
5	5-1	5-1	5-1	5-1	5-1	5-1	6	6-1	6-1
6	6-1	6-1	6-1	6-1	6-1	6-1	7	7-1	7-1
7	7-1	7-1	7-1	7-1	7-1	7-1	8	8-1	8-1
8	8-1	8-1	8-1	8-1	8-1	8-1	9	9-1	9-1
9	9-1	9-1	9-1	9-1	9-1	9-1	10	10-1	10-1
10	10-1	10-1	10-1	10-1	10-1	10-1	11	11-1	11-1
11	11-1	11-1	11-1	11-1	11-1	11-1	12	12-1	12-1
12	12-1	12-1	12-1	12-1	12-1	12-1	13	13-1	13-1
13	13-1	13-1	13-1	13-1	13-1	13-1	14	14-1	14-1
14	14-1	14-1	14-1	14-1	14-1	14-1	15	15-1	15-1
15	15-1	15-1	15-1	15-1	15-1	15-1	16	16-1	16-1
16	16-1	16-1	16-1	16-1	16-1	16-1	17	17-1	17-1
17	17-1	17-1	17-1	17-1	17-1	17-1	18	18-1	18-1
18	18-1	18-1	18-1	18-1	18-1	18-1	19	19-1	19-1
19	19-1	19-1	19-1	19-1	19-1	19-1	20	20-1	20-1
20	20-1	20-1	20-1	20-1	20-1	20-1	21	21-1	21-1
21	21-1	21-1	21-1	21-1	21-1	21-1	22	22-1	22-1
22	22-1	22-1	22-1	22-1	22-1	22-1	23	23-1	23-1
23	23-1	23-1	23-1	23-1	23-1	23-1	24	24-1	24-1
24	24-1	24-1	24-1	24-1	24-1	24-1	25	25-1	25-1
25	25-1	25-1	25-1	25-1	25-1	25-1	26	26-1	26-1
26	26-1	26-1	26-1	26-1	26-1	26-1	27	27-1	27-1
27	27-1	27-1	27-1	27-1	27-1	27-1	28	28-1	28-1
28	28-1	28-1	28-1	28-1	28-1	28-1	29	29-1	29-1
29	29-1	29-1	29-1	29-1	29-1	29-1	30	30-1	30-1
30	30-1	30-1	30-1	30-1	30-1	30-1	31	31-1	31-1
31	31-1	31-1	31-1	31-1	31-1	31-1	32	32-1	32-1
32	32-1	32-1	32-1	32-1	32-1	32-1	33	33-1	33-1
33	33-1	33-1	33-1	33-1	33-1	33-1	34	34-1	34-1
34	34-1	34-1	34-1	34-1	34-1	34-1	35	35-1	35-1
35	35-1	35-1	35-1	35-1	35-1	35-1	36	36-1	36-1
36	36-1	36-1	36-1	36-1	36-1	36-1	37	37-1	37-1
37	37-1	37-1	37-1	37-1	37-1	37-1	38	38-1	38-1
38	38-1	38-1	38-1	38-1	38-1	38-1	39	39-1	39-1
39	39-1	39-1	39-1	39-1	39-1	39-1	40	40-1	40-1
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42	42-1	42-1	42-1	42-1	42-1	42-1	43	43-1	43-1
43	43-1	43-1	43-1	43-1	43-1	43-1	44	44-1	44-1
44	44-1	44-1	44-1	44-1	44-1	44-1	45	45-1	45-1
45	45-1	45-1	45-1	45-1	45-1	45-1	46	46-1	46-1
46	46-1	46-1	46-1	46-1	46-1	46-1	47	47-1	47-1
47	47-1	47-1	47-1	47-1	47-1	47-1	48	48-1	48-1
48	48-1	48-1	48-1	48-1	48-1	48-1	49	49-1	49-1
49	49-1	49-1	49-1	49-1	49-1	49-1	50	50-1	50-1
50	50-1	50-1	50-1	50-1	50-1	50-1	51	51-1	51-1
51	51-1	51-1	51-1	51-1	51-1	51-1	52	52-1	52-1
52	52-1	52-1	52-1	52-1	52-1	52-1	53	53-1	53-1
53	53-1	53-1	53-1	53-1	53-1	53-1	54	54-1	54-1
54	54-1	54-1	54-1	54-1	54-1	54-1	55	55-1	55-1
55	55-1	55-1	55-1	55-1	55-1	55-1	56	56-1	56-1
56	56-1	56-1	56-1	56-1	56-1	56-1	57	57-1	57-1
57	57-1	57-1	57-1	57-1	57-1	57-1	58	58-1	58-1
58	58-1	58-1	58-1	58-1	58-1	58-1	59	59-1	59-1
59	59-1	59-1	59-1	59-1	59-1	59-1	60	60-1	60-1
60	60-1	60-1	60-1	60-1	60-1	60-1	61	61-1	61-1
61	61-1	61-1	61-1	61-1	61-1	61-1	62	62-1	62-1
62	62-1	62-1	62-1	62-1	62-1	62-1	63	63-1	63-1
63	63-1	63-1	63-1	63-1	63-1	63-1	64	64-1	64-1
64	64-1	64-1	64-1	64-1	64-1	64-1	65	65-1	65-1
65	65-1	65-1	65-1	65-1	65-1	65-1	66	66-1	66-1
66	66-1	66-1	66-1	66-1	66-1	66-1	67	67-1	67-1
67	67-1	67-1	67-1	67-1	67-1	67-1	68	68-1	68-1
68	68-1	68-1	68-1	68-1	68-1	68-1	69	69-1	69-1
69	69-1	69-1	69-1	69-1	69-1	69-1	70	70-1	70-1
70	70-1	70-1	70-1	70-1	70-1	70-1	71	71-1	71-1
71	71-1	71-1	71-1	71-1	71-1	71-1	72	72-1	72-1
72	72-1	72-1	72-1	72-1	72-1	72-1	73	73-1	73-1
73	73-1	73-1	73-1	73-1	73-1	73-1	74	74-1	74-1
74	74-1	74-1	74-1	74-1	74-1	74-1	75	75-1	75-1
75	75-1	75-1	75-1	75-1	75-1	75-1	76	76-1	76-1
76	76-1	76-1	76-1	76-1	76-1	76-1	77	77-1	77-1
77	77-1	77-1	77-1	77-1	77-1	77-1	78	78-1	78-1
78	78-1	78-1	78-1	78-1	78-1	78-1	79	79-1	79-1
79	79-1	79-1	79-1	79-1	79-1	79-1	80	80-1	80-1
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84	84-1	84-1	84-1	84-1	84-1	84-1	85	85-1	85-1
85	85-1	85-1	85-1	85-1	85-1	85-1	86	86-1	86-1
86	86-1	86-1	86-1	86-1	86-1	86-1	87	87-1	87-1
87	87-1	87-1	87-1	87-1	87-1	87-1	88	88-1	88-1
88	88-1	88-1	88-1	88-1	88-1	88-1	89	89-1	89-1
89	89-1	89-1	89-1	89-1	89-1	89-1	90	90-1	90-1
90	90-1	90-1	90-1	90-1	90-1	90-1	91	91-1	91-1
91	91-1	91-1	91-1	91-1	91-1	91-1	92	92-1	92-1
92	92-1	92-1	92-1	92-1	92-1	92-1	93	93-1	93-1
93	93-1	93-1	93-1	93-1	93-1	93-1	94	94-1	94-1
94	94-1	94-1	94-1	94-1	94-1	94-1	95	95-1	95-1
95	95-1	95-1	95-1	95-1	95-1	95-1	96	96-1	96-1
96	96-1	96-1	96-1	96-1	96-1	96-1	97	97-1	97-1
97	97-1	97-1	97-1	97-1	97-1	97-1	98	98-1	98-1
98	98-1	98-1	98-1	98-1	98-1	98-1	99	99-1	99-1
99	99-1	99-1	99-1	99-1	99-1	99-1	100	100-1	100-1

ALL WINDOW AND PATIO DOOR HEADERS TO BE OF #1 4X12 UNLO.

WINDOW SCHEDULE									
NO.	SIZE	TYPE	FIN.	GLASS	FRAME	REMARKS	NO.	SIZE	REMARKS
1	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	11	10'0" x 6'0"	WIND. STAT.
2	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	12	10'0" x 6'0"	WIND. STAT.
3	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	13	10'0" x 6'0"	WIND. STAT.
4	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	14	10'0" x 6'0"	WIND. STAT.
5	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	15	10'0" x 6'0"	WIND. STAT.
6	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	16	10'0" x 6'0"	WIND. STAT.
7	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	17	10'0" x 6'0"	WIND. STAT.
8	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	18	10'0" x 6'0"	WIND. STAT.
9	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	19	10'0" x 6'0"	WIND. STAT.
10	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	20	10'0" x 6'0"	WIND. STAT.
21	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	22	10'0" x 6'0"	WIND. STAT.
23	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	24	10'0" x 6'0"	WIND. STAT.
25	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	26	10'0" x 6'0"	WIND. STAT.
27	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	28	10'0" x 6'0"	WIND. STAT.
29	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	30	10'0" x 6'0"	WIND. STAT.
31	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	32	10'0" x 6'0"	WIND. STAT.
33	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	34	10'0" x 6'0"	WIND. STAT.
35	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	36	10'0" x 6'0"	WIND. STAT.
37	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	38	10'0" x 6'0"	WIND. STAT.
39	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	40	10'0" x 6'0"	WIND. STAT.
41	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	42	10'0" x 6'0"	WIND. STAT.
43	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	44	10'0" x 6'0"	WIND. STAT.
45	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	46	10'0" x 6'0"	WIND. STAT.
47	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	48	10'0" x 6'0"	WIND. STAT.
49	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	50	10'0" x 6'0"	WIND. STAT.
51	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	52	10'0" x 6'0"	WIND. STAT.
53	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	54	10'0" x 6'0"	WIND. STAT.
55	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	56	10'0" x 6'0"	WIND. STAT.
57	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	58	10'0" x 6'0"	WIND. STAT.
59	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	60	10'0" x 6'0"	WIND. STAT.
61	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	62	10'0" x 6'0"	WIND. STAT.
63	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	64	10'0" x 6'0"	WIND. STAT.
65	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	66	10'0" x 6'0"	WIND. STAT.
67	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	68	10'0" x 6'0"	WIND. STAT.
69	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	70	10'0" x 6'0"	WIND. STAT.
71	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	72	10'0" x 6'0"	WIND. STAT.
73	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	74	10'0" x 6'0"	WIND. STAT.
75	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	76	10'0" x 6'0"	WIND. STAT.
77	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	78	10'0" x 6'0"	WIND. STAT.
79	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	80	10'0" x 6'0"	WIND. STAT.
81	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	82	10'0" x 6'0"	WIND. STAT.
83	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	84	10'0" x 6'0"	WIND. STAT.
85	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	86	10'0" x 6'0"	WIND. STAT.
87	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	88	10'0" x 6'0"	WIND. STAT.
89	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	90	10'0" x 6'0"	WIND. STAT.
91	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	92	10'0" x 6'0"	WIND. STAT.
93	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	94	10'0" x 6'0"	WIND. STAT.
95	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	96	10'0" x 6'0"	WIND. STAT.
97	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	98	10'0" x 6'0"	WIND. STAT.
99	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	100	10'0" x 6'0"	WIND. STAT.
101	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	102	10'0" x 6'0"	WIND. STAT.
103	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	104	10'0" x 6'0"	WIND. STAT.
105	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	106	10'0" x 6'0"	WIND. STAT.
107	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	108	10'0" x 6'0"	WIND. STAT.
109	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	110	10'0" x 6'0"	WIND. STAT.
111	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	112	10'0" x 6'0"	WIND. STAT.
113	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	114	10'0" x 6'0"	WIND. STAT.
115	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	116	10'0" x 6'0"	WIND. STAT.
117	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	118	10'0" x 6'0"	WIND. STAT.
119	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	120	10'0" x 6'0"	WIND. STAT.
121	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	122	10'0" x 6'0"	WIND. STAT.
123	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	124	10'0" x 6'0"	WIND. STAT.
125	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	126	10'0" x 6'0"	WIND. STAT.
127	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	128	10'0" x 6'0"	WIND. STAT.
129	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	130	10'0" x 6'0"	WIND. STAT.
131	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	132	10'0" x 6'0"	WIND. STAT.
133	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	134	10'0" x 6'0"	WIND. STAT.
135	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	136	10'0" x 6'0"	WIND. STAT.
137	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	138	10'0" x 6'0"	WIND. STAT.
139	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	140	10'0" x 6'0"	WIND. STAT.
141	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	142	10'0" x 6'0"	WIND. STAT.
143	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	144	10'0" x 6'0"	WIND. STAT.
145	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	146	10'0" x 6'0"	WIND. STAT.
147	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	148	10'0" x 6'0"	WIND. STAT.
149	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	150	10'0" x 6'0"	WIND. STAT.
151	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	152	10'0" x 6'0"	WIND. STAT.
153	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	154	10'0" x 6'0"	WIND. STAT.
155	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	156	10'0" x 6'0"	WIND. STAT.
157	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	158	10'0" x 6'0"	WIND. STAT.
159	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	160	10'0" x 6'0"	WIND. STAT.
161	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	162	10'0" x 6'0"	WIND. STAT.
163	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	164	10'0" x 6'0"	WIND. STAT.
165	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	166	10'0" x 6'0"	WIND. STAT.
167	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	168	10'0" x 6'0"	WIND. STAT.
169	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	170	10'0" x 6'0"	WIND. STAT.
171	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	172	10'0" x 6'0"	WIND. STAT.
173	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	174	10'0" x 6'0"	WIND. STAT.
175	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	176	10'0" x 6'0"	WIND. STAT.
177	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	178	10'0" x 6'0"	WIND. STAT.
179	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	180	10'0" x 6'0"	WIND. STAT.
181	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	182	10'0" x 6'0"	WIND. STAT.
183	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	184	10'0" x 6'0"	WIND. STAT.
185	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	186	10'0" x 6'0"	WIND. STAT.
187	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	188	10'0" x 6'0"	WIND. STAT.
189	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	190	10'0" x 6'0"	WIND. STAT.
191	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	192	10'0" x 6'0"	WIND. STAT.
193	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	194	10'0" x 6'0"	WIND. STAT.
195	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	196	10'0" x 6'0"	WIND. STAT.
197	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	198	10'0" x 6'0"	WIND. STAT.
199	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	200	10'0" x 6'0"	WIND. STAT.
201	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	202	10'0" x 6'0"	WIND. STAT.
203	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	204	10'0" x 6'0"	WIND. STAT.
205	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	206	10'0" x 6'0"	WIND. STAT.
207	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	208	10'0" x 6'0"	WIND. STAT.
209	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	210	10'0" x 6'0"	WIND. STAT.
211	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	212	10'0" x 6'0"	WIND. STAT.
213	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	214	10'0" x 6'0"	WIND. STAT.
215	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	216	10'0" x 6'0"	WIND. STAT.
217	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	218	10'0" x 6'0"	WIND. STAT.
219	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	220	10'0" x 6'0"	WIND. STAT.
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223	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	224	10'0" x 6'0"	WIND. STAT.
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229	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	230	10'0" x 6'0"	WIND. STAT.
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235	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	236	10'0" x 6'0"	WIND. STAT.
237	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	238	10'0" x 6'0"	WIND. STAT.
239	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	240	10'0" x 6'0"	WIND. STAT.
241	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	242	10'0" x 6'0"	WIND. STAT.
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249	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	250	10'0" x 6'0"	WIND. STAT.
251	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	252	10'0" x 6'0"	WIND. STAT.
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257	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	258	10'0" x 6'0"	WIND. STAT.
259	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES	STATIONARY	260	10'0" x 6'0"	WIND. STAT.
261	10'0" x 6'0"	WIND. STAT.	GLASS	WHITE	YES				

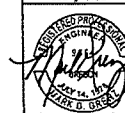


BUILDING ELEVATIONS

PEMBROOK STREET APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR REVISIONS TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN EXHIBITOR.
 DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DESIGN: P.L.U.
 DRAWN: G.L.O.
 CHECKED: M.O.O.
 DATE: 11/18
 SCALE: AS SHOWN



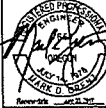
A8.9

MAIN & UPPER FLOOR PLAN

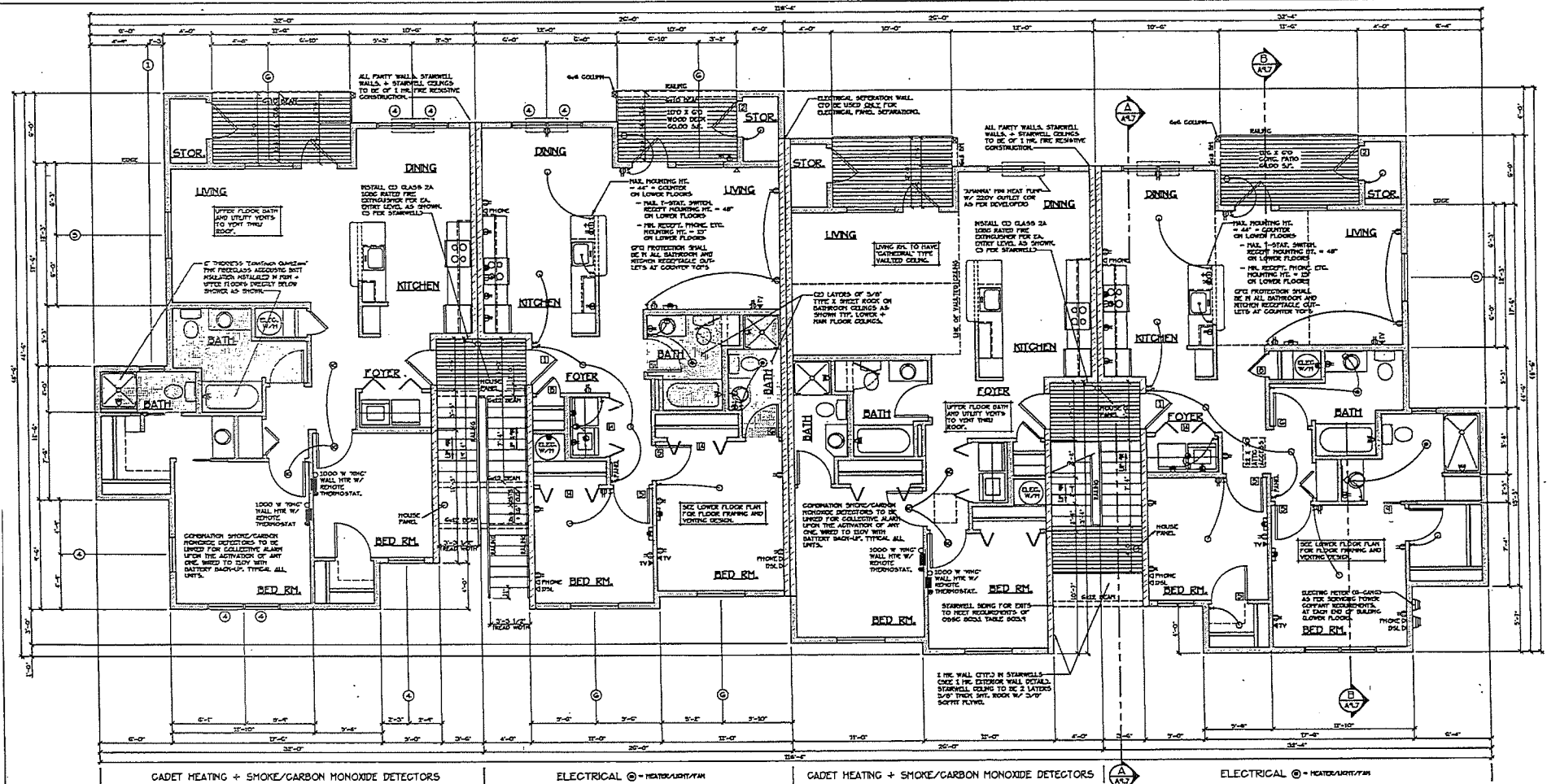
PEMBROOK STREET APARTMENT COMPLEX

NO DIMENSIONS INDICATED ON THESE DRAWINGS SHALL BE TAKEN FROM THE CENTER OF THE CURVED DIMENSION.
CONSTRUCTION TYPE V B SPRINKLED
SCALE: 1/4" = 1'-0"

NO DIMENSIONS INDICATED ON THESE DRAWINGS SHALL BE TAKEN FROM THE CENTER OF THE CURVED DIMENSION.
CONSTRUCTION TYPE V B SPRINKLED
SCALE: 1/4" = 1'-0"



A9.4



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
"A" UNIT = 952 S.F.
"B" UNIT = 1029 S.F.

TYPE B UNIT

TYPE A UNIT

TYPE A UNIT

TYPE B UNIT

BLD. 9
CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK ATTACHMENT

UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	2x6 S.T.G.	1	LINEAL	WALL, STAIR
2	2x4 S.T.G.	1	LINEAL	WALL, STAIR
3	2x6 S.T.G.	1	LINEAL	WALL, STAIR
4	2x4 S.T.G.	1	LINEAL	WALL, STAIR
5	2x6 S.T.G.	1	LINEAL	WALL, STAIR
6	2x4 S.T.G.	1	LINEAL	WALL, STAIR
7	2x6 S.T.G.	1	LINEAL	WALL, STAIR
8	2x4 S.T.G.	1	LINEAL	WALL, STAIR
9	2x6 S.T.G.	1	LINEAL	WALL, STAIR
10	2x4 S.T.G.	1	LINEAL	WALL, STAIR
11	2x6 S.T.G.	1	LINEAL	WALL, STAIR
12	2x4 S.T.G.	1	LINEAL	WALL, STAIR
13	2x6 S.T.G.	1	LINEAL	WALL, STAIR
14	2x4 S.T.G.	1	LINEAL	WALL, STAIR
15	2x6 S.T.G.	1	LINEAL	WALL, STAIR
16	2x4 S.T.G.	1	LINEAL	WALL, STAIR
17	2x6 S.T.G.	1	LINEAL	WALL, STAIR
18	2x4 S.T.G.	1	LINEAL	WALL, STAIR
19	2x6 S.T.G.	1	LINEAL	WALL, STAIR
20	2x4 S.T.G.	1	LINEAL	WALL, STAIR
21	2x6 S.T.G.	1	LINEAL	WALL, STAIR
22	2x4 S.T.G.	1	LINEAL	WALL, STAIR
23	2x6 S.T.G.	1	LINEAL	WALL, STAIR
24	2x4 S.T.G.	1	LINEAL	WALL, STAIR
25	2x6 S.T.G.	1	LINEAL	WALL, STAIR
26	2x4 S.T.G.	1	LINEAL	WALL, STAIR
27	2x6 S.T.G.	1	LINEAL	WALL, STAIR
28	2x4 S.T.G.	1	LINEAL	WALL, STAIR
29	2x6 S.T.G.	1	LINEAL	WALL, STAIR
30	2x4 S.T.G.	1	LINEAL	WALL, STAIR

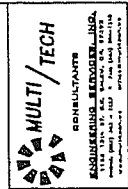
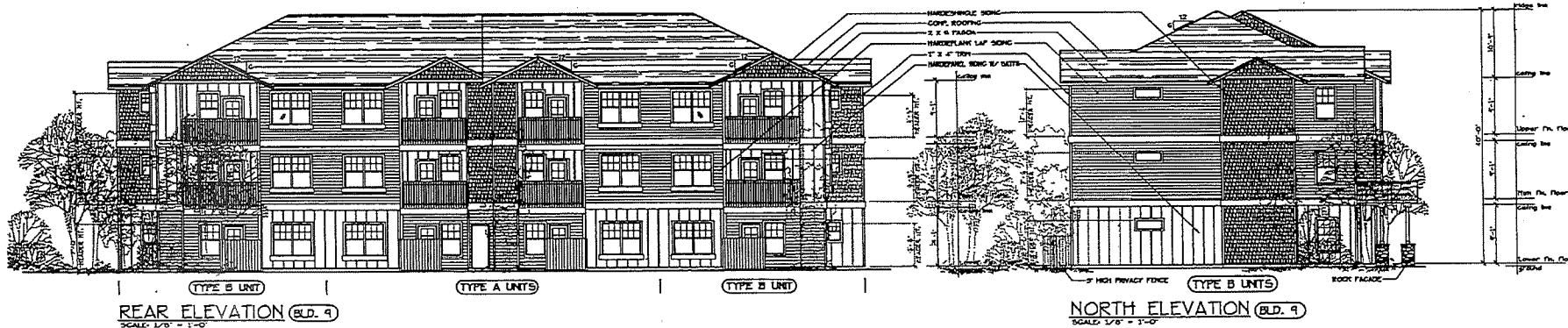
NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	2x6 S.T.G.	1	LINEAL	WALL, STAIR
2	2x4 S.T.G.	1	LINEAL	WALL, STAIR
3	2x6 S.T.G.	1	LINEAL	WALL, STAIR
4	2x4 S.T.G.	1	LINEAL	WALL, STAIR
5	2x6 S.T.G.	1	LINEAL	WALL, STAIR
6	2x4 S.T.G.	1	LINEAL	WALL, STAIR
7	2x6 S.T.G.	1	LINEAL	WALL, STAIR
8	2x4 S.T.G.	1	LINEAL	WALL, STAIR
9	2x6 S.T.G.	1	LINEAL	WALL, STAIR
10	2x4 S.T.G.	1	LINEAL	WALL, STAIR
11	2x6 S.T.G.	1	LINEAL	WALL, STAIR
12	2x4 S.T.G.	1	LINEAL	WALL, STAIR
13	2x6 S.T.G.	1	LINEAL	WALL, STAIR
14	2x4 S.T.G.	1	LINEAL	WALL, STAIR
15	2x6 S.T.G.	1	LINEAL	WALL, STAIR
16	2x4 S.T.G.	1	LINEAL	WALL, STAIR
17	2x6 S.T.G.	1	LINEAL	WALL, STAIR
18	2x4 S.T.G.	1	LINEAL	WALL, STAIR
19	2x6 S.T.G.	1	LINEAL	WALL, STAIR
20	2x4 S.T.G.	1	LINEAL	WALL, STAIR
21	2x6 S.T.G.	1	LINEAL	WALL, STAIR
22	2x4 S.T.G.	1	LINEAL	WALL, STAIR
23	2x6 S.T.G.	1	LINEAL	WALL, STAIR
24	2x4 S.T.G.	1	LINEAL	WALL, STAIR
25	2x6 S.T.G.	1	LINEAL	WALL, STAIR
26	2x4 S.T.G.	1	LINEAL	WALL, STAIR
27	2x6 S.T.G.	1	LINEAL	WALL, STAIR
28	2x4 S.T.G.	1	LINEAL	WALL, STAIR
29	2x6 S.T.G.	1	LINEAL	WALL, STAIR
30	2x4 S.T.G.	1	LINEAL	WALL, STAIR

NOTES: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE & OTHER OPERATING DEVICES IN CONFORMANCE WITH ICC/ANSI A117.1 SECTIONS 304.4 AND 404.2.6.
NOTES: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3-2014 D05SG U-0.35.
NOTES: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 3/4" ABOVE FINISH FLOOR SURFACE COULD BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN CONFORMANCE WITH THE 2014 D05SG SECTIONS 303.8.4 AND 102.5.4.

NOTE: MAIN & UPPER FLOOR DOORS ARE TO BE 2'-0" WIDE AND 6'-8" HIGH. DOOR SET OPTIONS FOR MAIN & UPPER FLOORS ARE AS FOLLOWS:
DOOR SET = 2'-0" DOOR
DOOR SET = 2'-0" DOOR

SEE "GENERAL STRUCTURAL NOTES" ON SHEET A9.2 BEFORE BEGINNING ANY CONSTRUCTION.

CONSTRUCTION TYPE V B SPRINKLED



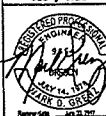
BUILDING ELEVATIONS

PEMBROOK STREET APARTMENT COMPLEX

NO CHANGE, MODIFICATIONS OR REVISIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE DESIGN ENGINEER. CONSULTANTS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DESIGN: P.L.U.
 DRAWN: D.L.
 CHECKED: J.O.B.
 SCALE: AS SHOWN

JOB # 6136



A9.8

Pembroke Apartments

The following statement addresses the applicable Design Review approval Standards in the SRC Chapter 702 (Multiple Family Design Review Guidelines and Design Review Standards) and the requirements under the CR zone Chapter 522 (Commercial Retail). Information provided on the site plans for the Design Review application further address applicable code requirements.

In 1997, Comprehensive Plan Change/Neighborhood Plan Change/Zone Change 97-23 was approved. CPC/NPC/ZC changed the Comp. Plan designation from "Industrial" to "Commercial", changed the Neighborhood Plan from "Industrial" to "Commercial Retail", and rezoned the property from IP (Industrial Park) to CR (Commercial Retail). CPC/NPC/ZC 97-23 was approved with Conditions of Approval 1(a) through (f).

On January 11, 2016, ZC-CU 15-03 was approved by City Council, to eliminate Condition 1(e) of CPC/NPC/ZC 97-23, and to allow the development of apartments on CR zoned property.

On March 3, 2016, a pre-application conference (PRE-AP16-19) was held with the applicant and City staff to discuss the development of the subject property.

Proposal (Sheet SDR3):

The subject property is 4.22 acres in size, zoned CR (Commercial Retail), and located at 152-172 Pembroke Street and 4752 Liberty Road.

The applicant is proposing to develop the site with 88 apartment units as shown on the site plans.

The applicant is requesting to meet the standards. All standards have been addressed and met as outlined within this narrative and on the site plans.

Commercial Retail (CR) SRC Chapter 522

Setbacks (Sheet SDR3): All minimum setbacks to property lines, between buildings and distances to the entrances are met as shown on the tentative plan.

- Northeast: 24 to 25-foot setback/with an 8-foot high sight obscuring fence (RS-Single Family Residential) zoned; existing single family dwellings and existing multi-family apartments
- Northwest: 10-foot setback (adjacent Pembroke Street SE)
- East: 30-foot setback (City of Salem RS (Single Family Residential); Wendy Kroger Park

Southeast: 12 to 21-foot setback (City of Salem IP (Industrial Park) zoned; self storage use
Southwest: 15-foot setback (City of Salem IP (Industrial Park) zoned; self storage use
West: 10 to 26-foot setback CR (Commercial Retail); Commercial uses

Property lines: The subject properties consist of four (4) parcels. At the time of building permit submittal, the applicant will apply for a Property Boundary Verification to eliminate property lines.

Maximum Height (Sheets A1.8, A2.8, A3.8, A4.8, A5.9, A6.8, A7.6 and A8.9): Maximum building height allowed in the CR zone is 50'. Building 1, 4, 5, 6, 8, and 9 are all three stories in height.

Condition No. 5 of ZC-CU15-03 requires that within 80 feet of the abutting RS zone property to the north, buildings shall not exceed two stories in height, nor exceed 35 feet in height.

Buildings 2 and 3 are located within 80 feet of the RS zoned properties to the north (along the northeast property line). Therefore, as shown on the elevation plans, Buildings 2 and 3 are only two stories in height and meet the required setbacks. See attached site plans and elevation plans.

*Building 1 is 41 feet in height (measured to the highest point) and 35.4 feet in height (measured to the middle of the gable).

*Building 2 is 29.11 feet in height (measured to the highest point) and 23.65 feet in height (measured to the middle of the gable).

*Building 3 is 30.9 feet in height (measured to the highest) and 25.3 feet in height (measured to the middle of the gable).

*Building 4 is 40 feet in height (measured to the highest point) and 32.7 feet in height (measured to the middle of the gable).

*Building 5 is 37.9 feet in height (measured to the highest point) and 31.8 feet in height (measured to the middle of the gable).

*Building 6 is 40 feet in height (measured to the highest point) and 32.7 feet in height (measured to the middle of the gable).

*Building 7 is the recreation building and is one story in height.

*Building 8 is 39.1 feet in height (measured to the highest point) and 31.8 feet in height (measured to the middle of the gable).

*Building 9 is 40 feet in height (measured to the highest point) and 32.7 feet in height (measured to the middle of the gable).

Therefore, the buildings are in compliance with the building height requirement.

Grading (Sheet SDR5): A grading plan has been provided. The proposal will treat at least 80% of the hard surface with Green Water infrastructure.

Lot Coverage (Sheet SDR3): The buildings on the site total 32,438 square feet, therefore, covering 19% of the site.

Multiple Family Design Review Standards- Chapter 702

702.010 (b)(2) and (c)(2) Common Open Space Standards (Sheets SDR4 and L1.1): In multi-family developments, a portion of the land not covered by buildings and parking shall be of adequate size and shape and in the proper location to be functional for outdoor recreation and relaxation. The standards are also intended to ensure that open space is an integral part of the overall development design.

The minimum open space area required for this development is 30% of the site. The subject property is 183,722 (4.22 acres) square feet in size with 83,551 square feet of open space. Therefore, totaling 48% open space. See the open space plan provided.

The proposed development provides a recreation building in the center of the site, play areas in the center of the development, and landscaped open space areas throughout the site. The recreation building and play areas are available to all 88 dwelling units and accessible via the proposed pedestrian pathways (6-foot wide paved sidewalks). The recreation building, play areas, and open space areas are located in convenient and safe areas for the residents. The proposed development provides approximately 83,551 square feet of total common open space throughout the site. Therefore, this standard has been met. See attached site plans and open space plan.

Open Space

Common Open Space _____ 83,551 S.F. (48%)

Common Open Space

Within Setbacks _____ 25,307 S.F. (30%)

Landscape _____ 63,972 S.F. (37%)

Additional landscaping of 12 to 14-foot high trees has been provided along the northeast property line within the setback area. This is to provide additional screening for adjacent property owners. Therefore, this standard has been met. See attached site plans.

702.010 (d)(2) Private Open Space Standards (Sheets A1.3, A1.4, A2.3, A2.4, A3.3, A3.4, A4.3, A4.4, A5.3, A5.4, A5.5, A6.3, A6.4, A7.3, A8.3, A8.4, A8.5): Each unit will have private open space as required by code. Ground floor units will have patio areas that are 96 square feet in size, with no dimension less than 6 feet. All second and third story units will have balconies/decks that are a minimum 48 square feet in size. All private open space areas are located contiguous to the dwelling unit and will be screened with landscaping and/or fencing. Therefore, this standard has been met.

702.010 (b)(2) Landscaping Standards (Sheet L1.1): Landscaping has been provided throughout the site as identified on the landscape plans. A minimum of 1 tree has been planted for every 2,000 square feet of the site. Trees and vegetation have been provided throughout the development as shown on the landscape plans. Landscape plans have been provided and demonstrate how the landscape standards have been met.

A permanent underground irrigation system will be provided when development plans are final.

702.010 (c)(2) Street Frontage Standards (Sheet L1.1): The landscape plans identify how this standard is met. Trees will be provided along the street frontage with one canopy tree per 50 linear feet. See attached landscaped plans. Therefore, this standard has been met.

702.010 (c)(2) Street Frontage Standards (Sheet L1.1): The landscape plans identify how this standard is met. Trees will be provided along the street frontage with one canopy tree per 50 linear feet. See attached landscaped plans.

702.010 (d)(2) Building Exterior Standards (Sheets A1.8, A2.8, A3.8, A4.8, A5.9, A6.8, A7.6, A8.9): The exterior of the buildings will be landscaped to provide a visually appealing development. Trees and shrubs will be planted in front of and around all buildings as shown on the landscape plans. This will help to provide shading and privacy for residents. Therefore, this standard has been met.

702.010 (e)(2) Privacy Standards (Sheets L1.1, A1.8, A2.8, A3.8, A4.8, A5.9, A6.8, A7.6, A8.9 and SDR3): All ground level private open space areas (patios) will be screened and separated with landscaping and/or fencing. This will help to provide privacy for ground level residents. Therefore, this standard has been met.

702.010 (f)(2) Landscape Parking Standards (Sheet L1.1): In order to take into consideration circulation, pedestrian access, landscaping, and the requirements of the code, the parking areas have been carefully designed. All parking areas are landscaped as required,

and separated by landscaped bays. The parking areas and landscaped areas provide for visually appealing apartment grounds. Therefore, this standard has been met. See attached site plans.

702.015 (d)(1) Private Open Space Standards (Sheets A1.8, A2.8, A3.8, A4.8, A5.9, A6.8, A7.6, A8.9, A1.3, A1.4, A2.3, A2.4, A3.3, A3.4, A4.3, A4.4, A5.3, A5.4, A5.5, A6.3, A6.4, A7.3, A8.3, A8.4, A8.5): Each unit will have private open space as required by code. Ground floor units will have patio areas that are 96 square feet in size, with no dimension less than 6 feet. All second and third story units will have balconies/decks that are a minimum 48 square feet in size. All private open space areas are located contiguous to the dwelling unit and will be screened with landscaping and/or a 4 to 6 foot high sight obscuring wood fencing. This private open space includes the patios and balconies/decks. Therefore, this standard has been met.

702.020 (b)(2) Landscaping Standards (Sheet L1.1): The subject property abuts RS or RA zoned properties to the northeast and east. Landscaping is being provided adjacent all property lines. Landscaping has been provided throughout the site as identified on the landscape plans. A minimum of 1 tree will be planted for every 2,000 square feet of the site. Trees and vegetation have been provided throughout the development as shown on the landscape plans. There is 63,972 square feet of landscaped area throughout the site. Therefore, 48% of the site is landscaped. Landscape plans have been provided and demonstrate how the landscape standards have been met.

A permanent underground irrigation system will be provided when development plans are final.

There are a few existing trees on the site. There are no significant trees or heritage trees on the property. All of the trees on the site are designated for removal. Any trees on the site that are within building envelopes, access ways, parking areas, right-of-way, or will be effected by grading have to be removed.

New trees will be provided through the site as shown on the landscape plans.

702.020 (d)(2) Building Exterior Standards (Sheet L1.1): The exterior of the buildings will be landscaped to provide a visually appealing development. Trees and shrubs will be planted in front of and around all buildings as shown on the landscape plans. This will help to provide shading and privacy for residents. Therefore, this standard has been met.

702.020 (e)(2) Privacy Standards (Sheets A1.8, A2.8, A3.8, A4.8, A5.9, A6.8, A7.6, A8.9, A1.3, A1.4, A2.3, A2.4, A3.3, A3.4, A4.3, A4.4, A5.3, A5.4, A5.5, A6.3, A6.4, A7.3, A8.3, A8.4, A8.5): All ground level private open space areas (patios) will be screened and separated with landscaping and/or fencing. This will help to provide privacy for ground level residents. Therefore, this standard has been met.

702.020 (f)(2)Landscape Parking Standards (Sheets L1.1 and SDR3): In order to take into consideration circulation, pedestrian access, landscaping, and the requirements of the code, the parking areas have been carefully designed. All parking areas are landscaped as required, and separated by landscaped bays that are a minimum of 18-feet in width as shown on the site plan. The parking areas and landscaped areas provide for visually appealing apartment grounds.

Interior Parking Lot Landscaping (Sheets SDR3 and L1.1): SRC 806.035(d)(2) requires a minimum of 5 percent landscaping within parking areas less than 50,000 square feet in size and a minimum of 8 percent landscaping within parking areas 50,000 square feet and greater in size. The parking area within the development is 57,735 square feet in size with 6,138 square feet (10.6%) of landscaping. Therefore, this standard has been met.

Therefore, this standard has been met. See attached site plans.

702.025 (a)(2) Crime Prevention Standards (See attached worksheet): Safety of the residents is very important and all requirements are met to assure safety and compliance with code. There are no fences or plant materials located in areas within the development that obstruct visibility. All landscaping adjacent to open space areas will not exceed 3 feet in height.

All buildings have windows provided in habitable rooms and windows that face the parking lots and open space areas. This helps provide an eye on the development. Lighting on the buildings and along the sidewalks will be provided as well.

In order to provide a secure site, a 6-foot high chain link sight-obscuring fence will be provided along the north, south, west, and east property lines. An 8-foot high sight obscuring fence will be provided along the northeast property line. The sight will be secured with screening fencing as described above and gated access.

Therefore, this standard has been met. See attached site plans.

702.030(b)(2)Parking, Site Access, and Circulation Standards (Sheet SDR3): The subject property has street frontage on Pembroke Street along the northwest property line and Liberty Road along the west property line, via a stubbed connection. All access will be taken to and from Liberty Road to the west. There will be no access onto Pembroke Street.

There is an emergency access only located in the southwestern portion of the site. This is for emergency vehicles only and will be gated.

All parking areas are within the requirements of the code and are separated by planter bays that are a minimum of 18 feet in width. The layout of the parking areas has been taken into

consideration and provides for safe and efficient circulation throughout the development.

Therefore, this standard has been met.

A Traffic Impact Analysis (TIA) is not required for this development. A TPR Analysis dated August 15, 2015 has been provided as part of this application.

Parking (Sheet SDR): The development is for an 88 unit apartment complex. Code requires 1.5 vehicle parking spaces per every 1 dwelling unit. Therefore, the applicant is required to provide 132 on-site vehicle parking spaces. However, as shown on the site plan, 154 on-site parking spaces and 1 loading space have being provided.

Adequate parking has been provided throughout the development.

The site plan indicates the ratios provided for standard, compact, handicap spaces and location of bike spaces. One-hundred and eighteen (118) standard size parking stalls, twenty-nine (29) compact parking stalls, and six (6) handicap stalls are provided through-out the site.

All parking areas will be served by 24 to 26-foot wide two-way accessways that run through the development.

Bicycle parking is also required on site. The Code requires 0.1 bicycle parking space per dwelling unit. Nine (9) bicycle parking spaces are required for this development. Bike racks have been provided on the site and located in a convenient location for the residents. The applicant this providing sixteen (16) on-site bicycle parking spaces.

Therefore, this standard has been met.

702.030(c)(2) Pedestrian Site Access Standards (Sheet SDR3): The internal pedestrian circulation system consists of hard 6-foot wide surfaced sidewalks that provide easily identifiable and safe connections between the residential units, parking, recreation areas, manager's apartment, and the trash disposal area. The pedestrian system connects the buildings to the public sidewalk system within Pembroke Street and Liberty Road via the proposed internal sidewalk system. The sidewalks are raised above the surface of the travel lanes. This provides a clear separation between vehicles and pedestrians. Any pedestrian pathways that cross the parking area or driveways will be marked and a minimum of five feet wide. The pedestrian pathways will be lighted. Proposed pedestrian sidewalk connections are illustrated on the tentative site plan.

Per ZC/CU15-03 Condition No. 2, the applicant is providing a 5-foot pedestrian path along the northeast property line. The path will provide direct access for the apartment residents and adjacent residents to Wendy Kroger Park located to the east of the property.

The design of pedestrian circulation systems shall provide clear and identifiable connections within the multiple family development and to adjacent uses and public streets/sidewalks. The proposed development provides safe and convenient bicycle and pedestrian access from within the development to adjacent residential areas.

Sidewalks will also be provided along Pembroke Street along the properties street frontage. These sidewalks will further enhance the pedestrian connections and circulation to and from the site. The proposed sidewalks to and from the site will provide pedestrian circulation to the services to the west and the park located to the east of the site. Therefore, this standard has been met.

702.035(b)(2) Building Mass and Façade Design Standards (Sheets A1.8, A2.8, A3.8, A4.8, A5.9, A6.8, A7.6 and A8.9): These standards are intended to promote building and site design that contributes positively to a sense of neighborhood and to the overall streetscape by carefully relating building mass, entries and yards to public streets.

The building design does not have long flat walls or roof lines. The buildings will have an offset that breaks up the front of the buildings and the roof lines. Balconies (decks) and dormers are incorporated in the building design to add some visual element to the buildings. There are no buildings within the development that will exceed 150 feet in length. The buildings on the site are about 80 to 135 feet in length. The height and length of the buildings and structures conform to the measuring requirements in code.

Buildings 1, 2, 3, 4, 5, 6, 8, and 9 all face the interior of the lot. However, only the rear side of Building 1 faces right-of-way (Pembroke Street). The street side of Buildings 1 will be designed to be visually appealing, by providing similar design as is being provided for the front building façade for all buildings. In order to be consistent with the front facade of the building; windows, offsets, and architectural features will be incorporated in the portions of the building facing the right-of-way (Pembroke Street).

Varied materials and textures are being used on the building facade. The applicant has provided building elevations to show how this is being complied with. The materials used on the front, rear, and sides of the apartments are the same; shake siding, trim board, lap siding, and stone around the pillars. See attached building elevations. Therefore, this standard has been met.

702.035(c)(2) Compatibility Standards (Sheet SDR3): The subject property does abut RS and RA zoned property to the northeast (existing single family dwellings) and east (City park). As shown on the site plan, all required setbacks per the Code (Table 702-4) and per CPC/NPC/ZC97-23 and ZC-CU15-03 have been complied with. The following setbacks are proposed adjacent the RS and RA zoned properties to the northeast and east:

Northeast: 24 to 25-foot setback, plus an 8-foot high sight obscuring fence (RS-Single Family Residential) zoned; existing single family dwellings and existing multi-family apartments
East: 30-foot setback, plus a 6-foot high sight obscuring fence (RS (Single Family Residential); Wendy Kroger Park

The primary entrances for each individual unit is provided through a covered entry way. All building entries are clearly defined and easily accessible. The design of the building with the use of roofline offsets and covered entry ways, promote a positive sense of neighborhood. All building entrances face the internal street/parking system.

The subject property has 315.41 feet of buildable width along Pembroke Street. Buildings 1 and 2 are located on the setback line along Pembroke Street. Code requires a minimum of 50% of the buildable width be occupied by buildings placed on the setback line. Both buildings are located on the setback line. As shown on the site plan, the buildings total 174.50 feet of the buildable width along the street frontage. Therefore, occupying 55% of the buildable width of street frontage along Pembroke Street. See attached site plans.

All roof-mounted equipment will be screened and integrated into the building design. Further review of this requirement will take place at the time of building permits.

Therefore, this standard has been met.

702.035(d)(2) Building Articulation Standards (Sheets A1.8, A2.8, A3.8, A4.8, A5.9, A6.8, A7.6, A8.9 and SDR3): All buildings have entrances physically and visually connected to the internal public sidewalk system and the parking lots. All external stairways are recessed into the buildings. Therefore, physically and visually incorporating them into the buildings architecture design.

The primary entrances for each individual unit is provided through a covered entry way. All building entries are clearly defined and easily accessible. The design of the building with the use of roofline offsets and covered entry ways, promote a positive sense of neighborhood.

The building design does not have long flat walls or roof lines. The buildings will have an offset that breaks up the front of the buildings and the roof lines. All buildings will have a minimum of 2-foot offsets, balconies, patios, eaves, and windows incorporated into the design of each of the buildings. Therefore, this standard has been met. See building elevations.

702.040(a)(2) Recycling (Sheet SDR3): There is one trash/recycle area provided within the eastern portion of the development. The trash receptacle is accessible for all residents via the paved internal sidewalk system. The trash/recycle area will all be screened and enclosed with

a sight-obscuring fence or wall.



Pembrook Supplemental Information:

- 1) **Loading Space (Sheet SDR3)**-The loading space has been moved to meet the requirements of Chapter 806. Therefore, this standard has been met.
- 2) **Vehicle Use Area Setback (Sheet SDR3)**-All vehicle use areas have been adjusted to meet the 10-foot setback requirement. Therefore, this standard has been met.
- 3) **Summary Table (Sheet SDR4)**- SRC 806.035(d)(2) requires a minimum of 5 percent landscaping within parking areas less than 50,000 square feet in size and a minimum of 8 percent landscaping within parking areas 50,000 square feet and greater in size. The parking area within the development is 57,735 square feet in size with 6,138 square feet (10.6%) of landscaping.

The interior parking landscaping information has been added to the summary table on Sheet SDR4. Therefore, this standard has been met.

- 4) **Trash Enclosures (Sheet SDR3)**-The trash enclosures meet the 12-foot requirement. Therefore, this standard has been met.
- 5) **Building Articulation (Sheets A1.8, A1.3, A3.8)**-As shown on the site plans, Buildings 1 and 3 have been revised to provide the required building articulation. Therefore, this standard has been met.
- 6) **Building 1/Pathway (Sheet SDR3)**-The site plans have been revised to show the proposed pathways from Building 1 to Pembrook Street. Therefore, this standard has been met.
- 7) **Building 3/Ground Floor Entry Doors (Sheet A3.8)**-The proposed ground floor entry doors are for resident entry only. These doors will allow the residents to access their private patio space. Therefore, this standard has been met.
- 8) **Windows (Sheets A1.8, A1.3, A4.3, A4.8)**-As shown on the submitted building elevations and floor plans for Buildings 1 and 4, windows have been provided along the west elevation of Building 1 and along the north elevation of Building 4. Therefore, this standard has been met.
- 9) **Pedestrian Pathway/Rolling Security Gate (Sheet SDR3)**- The internal pedestrian circulation system consists of hard 5-foot wide surfaced sidewalks that provide easily identifiable and safe connections between the residential units, parking, recreation areas, manager's apartment, and the trash disposal area. The pedestrian system located along the north side of the accessway into the development will safely connect pedestrians to the buildings. This proposed sidewalk provides a clear separation between vehicles and pedestrians. The pedestrian pathways will be lighted. Proposed pedestrian sidewalk connections are illustrated on the tentative site plan. Therefore, this standard has been met.
- 10) **Stormwater (Sheet SDR5)**-As stated on the Grading and Drainage Plan (Sheet SDR5), the proposal is treating at least 80% hard surface with Green Water Infrastructure. Therefore, meeting the requirements of the Public Works Department.

PER ORS 227.178(2), THE APPLICANT HAS PROVIDED ALL NEEDED INFORMATION AND THEREFORE, THIS APPLICATION IS NOW COMPLETE.

RECEIVED



AUG 30 2016

COMMUNITY DEVELOPMENT

MEMO

TO: Aaron Panko, Planner III
Community Development Department

FROM: Glenn J. Davis, PE, CFM, Chief Development Engineer
Public Works Department

DATE: August 30, 2016

SUBJECT: PUBLIC WORKS RECOMMENDATIONS
DR-SPR16-03 (16-113061 RP)
4752 LIBERTY ROAD S
88-UNIT MULTI-FAMILY COMPLEX

PROPOSAL

A proposed Class 3 Design Review and Class 3 Site Plan Review, to allow development of an 88-unit apartment complex, for proposed parcel size of approximately 4.23 acres, zoned CR (Retail Commercial), and located at 152-172 Pembroke Street SE and 4752 Liberty Road S - 97302 (Marion County Assessor's Map and Tax Lot numbers: 083W09DB / 04000, 04200, 04300, and 04400).

SUMMARY OF FINDINGS

The proposed development meets applicable criteria related to Public Works infrastructure.

FACTS

Streets

1. Liberty Road S

- a. Existing Conditions—This street has an approximate 68-foot improvement within a 96-foot-wide right-of-way abutting the subject property.
- b. Standard—This street is designated as a Major Arterial street in the Salem TSP. The standard for this street classification is a 68-foot-wide improvement within a 96-foot-wide right-of-way.

2. Pembroke Street SE

- a. Existing Conditions—This street has an approximate 30-foot improvement within a 50-foot-wide right-of-way abutting the subject property.
- b. Standard—This street is designated as a Local street in the Salem TSP. The standard for this street classification is a 30-foot-wide improvement within a 50-foot-wide right-of-way.

Storm Drainage

Existing Conditions

1. A 10-inch storm main is located in Music Street SE.
2. A 12-inch storm main is located in Liberty Road S.

Water

Existing Conditions

1. The subject property is located in the S-2 water service level.
2. A 6-inch water main is located in Pembroke Street SE. Mains of this size generally convey flows of 500 to 1,200 gallons per minute.
3. A 10-inch water main is located in Liberty Road S. Mains of this size generally convey flows of 1,500 to 3,400 gallons per minute.

Sanitary Sewer

Existing Conditions

1. An 8-inch sewer line is located in Liberty Road S.
2. An 8-inch sewer line is located in Pembroke Street SE.

CRITERIA AND FINDINGS

Analysis of the development based on relevant criteria in SRC 220.005(f)(3) is as follows:

Criteria—The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately

Finding—Liberty Road S and Pembroke Street SE meet the right-of-way width and pavement width standards per the Salem TSP; therefore, no additional street improvements are required as a condition of the proposed development.

Criteria—Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians

Finding—The driveway access onto Liberty Road S provides for safe turning movements into and out of the property.

Criteria—The proposed development will be adequately served with City water, sewer, storm drainage, and other utilities appropriate to the nature of the development

Finding—The Public Works Department has reviewed the applicant's preliminary utility plan for this site. The water, sewer, and storm infrastructure are available within surrounding streets/areas and appear to be adequate to serve the proposed development. The applicant shall design and construct all utilities (sewer, water, and storm drainage) according to the PWDS and to the satisfaction of the Public Works Director. The applicant is advised that a sewer monitoring manhole may be required, and the trash area shall be designed in compliance with Public Works Standards.

The applicant's engineer submitted a statement demonstrating compliance with Stormwater PWDS Appendix 004-E(4)(b) and SRC Chapter 71. The preliminary stormwater design demonstrates the use of green stormwater infrastructure to the maximum extent feasible. The applicant's engineer shall design and construct a storm drainage system at the time of development in compliance with SRC Chapter 71 and PWDS.

Prepared by: Nathan Coapstick, Project Coordinator

cc: File