

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
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*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE PLANNING COMMISSION

**CLASS 3 DESIGN REVIEW / CLASS 3 SITE PLAN REVIEW / SOUTH
WATERFRONT MIXED USE ZONE DEVELOPMENT PHASING PLAN CASE NO.
DR-SPR-SWMUDPP16-05**

APPLICATION NOS.: 16-117617-DR, 16-114301-RP, 16-117811-ZO

NOTICE OF DECISION DATE: OCTOBER 19, 2016

REQUEST: A consolidated application for a proposed approximate 23,500 square-foot, 4-story, office building on property approximately 1.06 acres in size and located at 235 Front Street SE.

The application includes the following:

- 1) A Class 3 Design Review and Class 3 Site Plan review for the proposed development; and
- 2) A Development Phasing Plan, pursuant to SRC 531.015, to allow the mix of Household Living and Non-Household Living uses required for a development site under the South Waterfront Mixed-Use (SWMU) zone to be met in phases.

The subject property is zoned SWMU (South Waterfront Mixed-Use) and located at 235 Front Street SE (Marion County Assessor's Map and Tax Lot Number: 073W27BA03102).

APPLICANT: PARK FRONT LLC (JAMES STURDIVANT)

LOCATION: 235 FRONT ST SE / 97301

CRITERIA: Class 3 Design Review: SRC 225.005(e)(2),
Class 3 Site Plan Review: SRC 220.005(f)(3),
SWMU Zone Development Phasing Plan: 531.015(d)

FINDINGS: The findings are in the attached staff report dated October 18, 2016.

DECISION: The Planning Commission **GRANTED** Class 3 Design Review / Class 3 Site Plan Review / South Waterfront Mixed Use Zone Development Phasing Plan Case No. DR-SPR-SWMUDPP16-05 as follows:

- A. **APPROVE** the Class 3 Design Review for the proposed development, subject to the following conditions of approval:

Condition 1: The ground floor of the building shall maintain a finish floor to ceiling height of 12 feet.

~~**Condition 2:** The design of the upper floors of the northernmost facade of the building facing Front Street shall be revised to include vertically-oriented windows along a minimum of 30 percent of each building~~

~~floor length and on a minimum of 30 percent of the overall exterior wall area of the upper floor façade.~~

~~For purposes of calculating the amount of windows required, the building floor lengths and overall areas of the upper floor facades of both the northernmost and southernmost façades of the building facing Front Street shall be counted. Because the southernmost façade of the building facing Front Street is a shear wall, the overall amount of windows required on both facades shall be consolidated on the northernmost façade of the building facing Front Street.~~

~~The design of the windows on this façade shall continue the design of the windows of the eastern façade of the building facing Front Street by maintaining the same window height, muntin design, window shading elements, and metal siding between the windows on each floor.~~

~~In lieu of providing the required windows on the fourth floor of the façade, a sign may instead be located on the fourth floor of the façade subject to the requirements of SRC Chapter 900. The overall amount of required windows on the upper floor façade may be correspondingly reduced by the minimum amount necessary to accommodate the sign.~~

- B. **APPROVE** the Class 3 Site Plan Review for the proposed development, subject to the following conditions of approval:

Condition 1: A minimum 3-foot-tall wall, in conformance with the requirements of SRC 806.035(c)(2)(D), shall be provided to screen, from Front Street SE, the portion of the proposed off-street parking and vehicle use area located to the north of the driveway approach onto Front Street SE.

Condition 2: The trash/recycling area shall conform to the solid waste service area standards of SRC 800.055.

Condition 3: Provide a Trash Area Management Plan pursuant to Administrative Rule 109-012 Appendix D.

Condition 4: Replace existing sidewalks along the frontage of Front Street SE where they do not conform to the Public Works Design Standards and close all unused driveways.

- C. **APPROVE** the South Waterfront Mixed Use Zone Development Phasing Plan to allow the mix of Household Living and Non-Household Living uses required for a development site under the South Waterfront Mixed-Use (SWMU) zone to be met in phases.

Yes 4 No 3 (Guyer, Levin, McKinley) Absent 2 (Griggs, Palmateer)


Rich Fry, President
Salem Planning Commission

The rights granted by the attached decision must be exercised, or an extension granted, as follows or this approval shall be null and void:

Class 3 Design Review:	<u>November 4, 2018</u>
Class 3 Site Plan Review:	<u>November 4, 2020</u>
SWMU Zone Development Phasing Plan:	<u>November 4, 2018</u>

Application Deemed Complete:	<u>September 19, 2016</u>
Public Hearing Date:	<u>October 18, 2016</u>
Notice of Decision Mailing Date:	<u>October 19, 2016</u>
Decision Effective Date:	<u>November 4, 2016</u>
State Mandate Date:	<u>January 17, 2017</u>

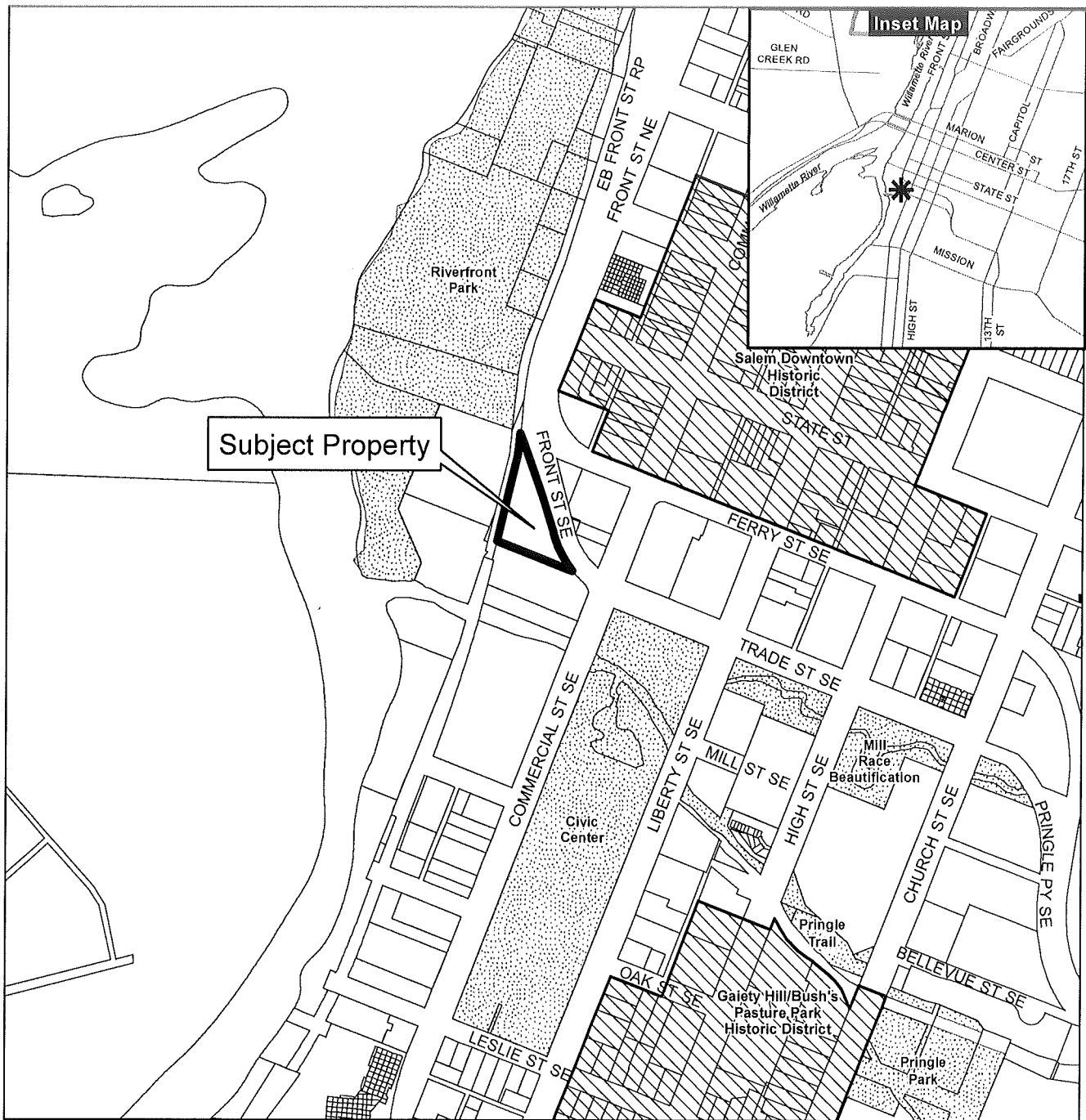
Case Manager: Bryce Bishop, bbishop@cityofsalem.net

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, **no later than 5:00 p.m., NOVEMBER 3, 2016**. Any person who presented evidence or testimony at the hearing may appeal the decision. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section in SRC Chapters 220, 225 and 531. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The City Council will review the appeal at a public hearing. After the hearing, the City Council may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

Vicinity Map 235 Front Street SE



Legend

Taxlots

Urban Growth Boundary

City Limits

Outside Salem City Limits

Historic District

Schools

Parks

CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

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TO: Planning Commission
FROM: Lisa Anderson-Ogilvie, Planning Administrator ~~BB FOR LAD~~
STAFF: Bryce Bishop, Planner II
HEARING DATE: October 18, 2016
APPLICATION: Consolidated Class 3 Design Review, Class 3 Site Plan Review, & South Waterfront Mixed-Use Zone Development Phasing Plan
CASE NO.: DR-SPR-SWMUDPP-16-05
LOCATION: 235 Front Street SE (Marion County Assessor's Map and Tax Lot number: 073W27BA03102) (Attachment A)
SIZE: Approximately 1.06 acres
REQUEST A consolidated application for a proposed approximate 23,500 square-foot, 4-story, office building on property approximately 1.06 acres in size and located at 235 Front Street SE.

The application includes the following:

- 1) A Class 3 Design Review and Class 3 Site Plan review for the proposed development; and
- 2) A Development Phasing Plan, pursuant to SRC 531.015, to allow the mix of Household Living and Non-Household Living uses required for a development site under the South Waterfront Mixed-Use (SWMU) zone to be met in phases.

The subject property is zoned SWMU (South Waterfront Mixed-Use) and located at 235 Front Street SE (Marion County Assessor Map and Tax Lot Number: 073W27BA03102).

APPLICANT: Park Front LLC

APPROVAL CRITERIA:

- Class 3 Design Review: SRC 225.005(e)(2)
- Class 3 Site Plan Review: SRC 220.005(f)(3)
- SWMU Development Phasing Plan: SRC 531.015(d)

RECOMMENDATION: APPROVE Class 3 Design Review, Class 3 Site Plan Review, and SWMU Zone Development Phasing Plan Case No. DR-SPR-SWMUDPP16-05 subject to the following conditions:

CLASS 3 DESIGN REVIEW

Condition 1: The ground floor of the building shall maintain a finish floor to ceiling height of 12 feet.

Condition 2: The design of the upper floors of the northernmost façade of the building facing Front Street shall be revised to include vertically-oriented windows along a minimum of 30 percent of each building floor length and on a minimum of 30 percent of the overall exterior wall area of the upper floor façade.

For purposes of calculating the amount of windows required, the building floor lengths and overall areas of the upper floor facades of both the northernmost and southernmost façades of the building facing Front Street shall be counted.

Because the southernmost façade of the building facing Front Street is a shear wall, the overall amount of windows required on both facades shall be consolidated on the northernmost façade of the building facing Front Street.

The design of the windows on this façade shall continue the design of the windows of the eastern façade of the building facing Front Street by maintaining the same window height, muntin design, window shading elements, and metal siding between the windows on each floor.

In lieu of providing the required windows on the fourth floor of the façade, a sign may instead be located on the fourth floor of the façade subject to the requirements of SRC Chapter 900. The overall amount of required windows on the upper floor façade may be correspondingly reduced by the minimum amount necessary to accommodate the sign.

CLASS 3 SITE PLAN REVIEW

- Condition 1:** A minimum 3-foot-tall wall, in conformance with the requirements of SRC 806.035(c)(2)(D), shall be provided to screen, from Front Street SE, the portion of the proposed off-street parking and vehicle use area located to the north of the driveway approach onto Front Street SE.
- Condition 2:** The trash/recycling area shall conform to the solid waste service area standards of SRC 800.055.
- Condition 3:** Provide a Trash Area Management Plan pursuant to Administrative Rule 109-012 Appendix D.
- Condition 4:** Replace existing sidewalks along the frontage of Front Street SE where they do not conform to the Public Works Design Standards and close all unused driveways.

PROCEDURAL FINDINGS

On August 1, 2016, AC+Co Architecture Community, on behalf of the applicant and property owner Park Front LLC, filed an application for a consolidated Class 3 Design Review, Class 3 Site Plan Review, and South Water Front Mixed-Use (SWMU) Zone Development Phasing Plan for a proposed approximate 23,500 square-foot, 4-story, office building on a portion of the north block of the former Boise Cascade site located at 235 Front Street SE.

Because multiple land use applications are required in connection with the proposed development, the applicant, pursuant to SRC 300.120(c), chose to consolidate the applications and process them together as one. When multiple applications are consolidated, the review process for the application shall follow the highest numbered procedure type required for the land use applications involved, and the Review Authority for the application shall be the highest applicable Review Authority under the highest numbered procedure type.

Based upon these requirements, the proposed consolidated application is required to be processed as a Type III procedure and reviewed by the Planning Commission.

After additional requested information was provided by the applicant, the application was deemed complete for processing on September 19, 2016. Notice of the public hearing on the proposed development was subsequently sent to surrounding property owners pursuant to SRC requirements on September 28, 2016. Notice was also posted on the subject property by the applicant's representative pursuant to SRC requirements.

The public hearing on the proposed Class 3 Design Review, Class 3 Site Plan Review, and SWMU Development Phasing Plan is scheduled for October 18, 2016. The state-mandated 120-day local decision deadline for the application is January 17, 2017.

BACKGROUND/PROPOSAL

The application under review by the Planning Commission is a consolidated Class 3 Design Review, Class 3 Site Plan Review, and SWMU Development Phasing Plan for development of the northern portion of the north block of the former Boise Cascade site located at 235 Front Street SE.

As shown on the development phasing plan included with this application (**Attachment B**), the north block of the former Boise Cascade site will include two separate developments, the proposed 4-story office building included with this application, located on the northern half of the Boise north block, and a proposed post-acute rehabilitation facility and retail space located on the southern half of the Boise north block. Both developments will share on-site vehicular circulation and access to Front Street, as well as a common stormwater management system.

The proposed office building is approximately 23,500 square feet in size and 4-stories in height. Vehicular access to the proposed development will be primarily provided by a shared two-way driveway off Front Street SE.

The proposed site/development plans for the project are included in **Attachment C**.

SUBSTANTIVE FINDINGS

1. Salem Area Comprehensive Plan (SACP)

The subject property is designated "River Oriented Mixed Use" on the Salem Area Comprehensive Plan map.

2. Zoning

The subject property is zoned SWMU (South Waterfront Mixed-Use). The zoning of surrounding properties is as follows:

- North: Across Front Street SE, CB (Central Business District) with General Retail/Office Overlay and CB (Central Business District with Front Street Overlay)
- South: SWMU (South Waterfront Mixed-Use)
- East: Across Front Street SE, CB (Central Business District) with General Retail/Office Overlay
- West: Across railroad tracks, SWMU (South Waterfront Mixed-Use)

3. Natural Features

Trees: The City's tree preservation ordinance (SRC Chapter 808) protects Heritage Trees, Significant Trees (including Oregon White Oaks with diameter-at-breast-height of 24 inches or greater), trees and native vegetation in riparian corridors, and trees on lots and parcels greater than 20,000 square feet. The tree preservation ordinance defines "tree" as, "any living woody plant that grows to 15 feet or more in height, typically with one main stem called a trunk, which is 10 inches or more dbh, and possesses an upright arrangement of branches and leaves."

There are no trees located on the subject property, but there are, however, street trees

located adjacent to the subject property within the right-of-way of Front Street SE. Because there are no trees located on the subject property, the tree preservation requirements of SRC Chapter 808 are not applicable to the proposed development. Removal of any trees from within the right-of-way of public streets is subject to the requirements of SRC Chapter 86.

Wetlands: According to the Salem-Keizer Local Wetlands Inventory (LWI), the subject property does not contain any mapped wetlands or waterways.

Landslide Hazards: According to the City's adopted landslide hazard susceptibility maps, the subject property does not contain any mapped landslide hazard susceptibility points. Pursuant to the City's landslide hazard ordinance (SRC Chapter 810), a geologic assessment is therefore not required in conjunction with the proposed development.

4. Neighborhood Association Comments

The subject property is located within the boundaries of the Central Area Neighborhood Development Organization (CANDO) neighborhood association. As of the date of completion of this staff report, no comments have been received from the neighborhood association.

5. Public Comments

All property owners within 250 feet of the subject property were mailed notification of the proposal. Notice of public hearing was also posted on the subject property. As of the date of completion of this staff report, no comments have been received from surrounding property owners.

6. City Department Comments

The Public Works Department reviewed the proposal and provided comments regarding street and City utility improvements required to serve the development and recommended conditions of approval to ensure conformance with the applicable requirements of the SRC. Comments from the Public Works Department are included as **Attachment D**.

7. Public Agency & Private Service Provider Comments

Notice of the proposal was provided to public agencies and to public & private service providers. As of the date of completing this staff report, the following comments were received:

- A. The Oregon Department of Transportation (ODOT) reviewed the proposal and provided comments that are included as **Attachment E**. In summary, it is indicated that because the property abuts Front Street, which is also a State highway, the proposed development requires an approved State Highway approach permit. ODOT indicates they concur with the applicant's proposal to consolidate the two existing connections to Highway 22 into a single connection.

ODOT explains that the applicant has met with ODOT staff for a pre-application conference and has subsequently submitted an access permit application for review and approval that is currently being processed. ODOT indicates they have requested civil construction plans for improvements that will need to be constructed within the State highway right-of-way and that these plans will need to be approved by ODOT prior to the issuance of a permit for construction activities within the State highway right-of-way.

ODOT indicates that due to the high volume and intensity of traffic along Front Street it is recommended that the applicant's contractor meet with ODOT staff for a pre-construction meeting to discuss the best way to safely circulate construction oriented traffic to and from the site. ODOT also explains that access for large construction vehicles will need to be discussed. ODOT recommends that access to and from the site occur by utilizing one of the existing Front Street accesses and the existing Commercial Street access. ODOT indicates that the details of specific turn movements will be determined after the recommended pre-construction meeting.

In addition, ODOT indicates that if the applicant or their contractor is required to occupy State highway right-of-way to provide utility improvements resulting from conditions of the City, a permit to occupy or perform operations upon a State highway will also be required. The permit must be obtained 30 calendar days prior to commencing any construction or utility improvements within the State highway right-of-way.

FINDINGS ADDRESSING APPLICABLE SALEM REVISED CODE APPROVAL CRITERIA FOR CLASS 3 DESIGN REVIEW

8. CLASS 3 DESIGN REVIEW APPROVAL CRITERIA

Salem Revised Code (SRC) 225.005(e)(2) sets forth the criteria that must be met before approval can be granted to an application for Class 3 Design Review. Pursuant to SRC 225.005(e)(2) an application for a Class 3 Design Review shall be approved if all of the applicable design review guidelines are met.

The design review guidelines applicable to development within the SWMU zone are established under SRC 531.035(a)-(e). The following subsections are organized with the SWMU zone design review guideline shown in ***bold italic***, followed by findings evaluating the proposal for conformance with the design review guideline. Lack of compliance with the following design review guidelines is grounds for denial of the Class 3 Design Review application, or for the issuance of certain conditions to ensure the design review guidelines are met.

A. SRC 531.035(a) Pedestrian-Oriented Building Design: General

▪ Building Facades (SRC 531.035(a)(1)(A)):

- (i) *Architectural detailing shall be incorporated that visually divides and breaks up the building's vertical mass in a manner that is complimentary to Downtown Salem's existing building stock.***

Finding: The corresponding design review standard to this design review guideline requires the vertical mass of buildings to be divided into three clear and distinct zones: a base, middle, and a top. The design review standard identifies specific architectural detailing techniques that must be incorporated into the design of a building in order to achieve the desired break-up of the building's vertical mass and clearly define the base, middle, and top zones of its façade. In order to conform to the design review standard, one or more of the following architectural detailing techniques are required to be incorporated into the design of the building:

- 1) Utilization of horizontal banding within the facade, such as string courses or projecting roofline cornices. Proposed horizontal bands are required to be a minimum of 8 inches in height and must project a minimum of 3/4 inch from the

building façade. Projecting cornices must project a minimum of 1-foot, but not more than 5 feet, from the building façade.

- 2) Changes in building form/massing through utilization of building offsets or projections measuring a minimum of 3 feet in depth.
- 3) Changes in building color, pattern, and/or building material.

As is shown on the elevation drawings and renderings for the proposed building, the first floor consists of a concrete masonry unit (cmu) façade of one color, the middle portion consists of brick material of another color, and the top portion consists of a metal siding with a parapet cap/cornice that projects out from the face of the masonry. The parapet/cornice projects out more than 1-foot, but less than 5 feet, and is more than 8 inches in height. The horizontal banding utilized to separate the middle portion of the building from its base and top portions consists of 8-inch tall bricks which project 2 inches from the façade, where the horizontal band separates the middle of the building from the base, and 1 inch from the façade, where the horizontal band separates the middle of the building from the top.

As is identified above, the proposed building design utilizes different building materials, color, projecting horizontal banding, and a projecting cornice at the roofline to distinguish between the base, middle, and top portions of the building in conformance with the design standards. By incorporating architectural detailing techniques that conform to the corresponding SWMU zone design review standard, the base, middle, and top zones of the building façade are differentiated and the vertical mass of the building is consequently broken up and divided as required by this guideline in a manner that is complementary to Downtown Salem's existing building stock. The proposed development conforms to this design review guideline.

▪ **Ground Floor Height (SRC 531.035(a)(2)(A)):**

- (i) ***The ground floors of buildings along streets, or facing open space, shall be of sufficient height to be easily converted to commercial use. If a raised foundation or one-half story of visible below grade parking is provided, this level shall enhance the pedestrian environment along the sidewalk through landscaping or other techniques to ensure a pedestrian-friendly environment.***

Finding: As illustrated on the site plan and the elevation drawings for the proposed building, a raised foundation or one-half story of visible below grade parking is not included within the development. Instead, the ground floor of the building will be occupied by commercial office space.

As indicated on the elevation drawings for the proposed building, the height of the ground floor of the building from finish floor to finish floor is 14 feet. The applicant indicates that the ceiling of the first floor can be set at 12 feet and clear all structure which meets the standard.

The corresponding design review standard to this design review guideline requires the ground floors of buildings to be a minimum of 12 feet, but not more than 16 feet, in height. As indicated by the applicant, the ceiling of the first floor can be set at 12 feet and clear all structure. In order to ensure the ground floor of the proposed building is of a sufficient height to conform to this design review guideline, the following condition of approval is recommended:

Condition 1: The ground floor of the building shall maintain a finish floor to ceiling height of 12 feet.

Because the proposed building is intended for be used for office space, the building will include commercial uses on the ground floor consistent with this design guideline. The recommended condition of approval for the building to maintain a finish floor to ceiling height of 12 feet ensures that the ground floor of the proposed building will maintain a sufficient height to be used for commercial use. The proposed development conforms to this design review guideline.

▪ **Building Transparency (SRC 531.035(a)(3)(A)):**

- (i) *Ground floor building facades facing streets and open space shall include large transparent windows to ensure that the ground floor promotes a sense of interaction between activities in the building and activities in the public realm.***

Finding: As illustrated on the elevation drawings for the proposed building, large transparent windows are included on the eastern façade of the building facing Front Street, as well as the southern and western facades of the building. The applicant indicates that windows are not included on the ground floor of the narrow northern façade of the building facing Front Street because that portion of the façade is primarily blocked from view of Front Street by the proposed CMU screen wall that projects out from the north wall of the building.

Because the proposed building includes large transparent windows distributed throughout the ground floor facades of the building, pedestrians outside the building will be able to observe the activities within the building; thereby promoting a sense of interaction between activities in the building and activities in the public realm. The proposed development conforms to this design review guideline.

- (ii) *Windows on ground floor and upper floor building facades shall be provided to ensure that public and private open spaces are safe and secure at all times by providing sufficient “eyes” on streets, courtyards, forecourts, plazas, and parks.***

Finding: As shown on the elevation drawings and renderings for the proposed building, the eastern, southern, and western facades include windows. The size and regular spacing of windows throughout these facades ensure that public and private open space areas to the east, south, and west of the building will be safe and secure at all times because of the visibility provided from these windows.

As shown on the elevation drawings for the proposed building, the northern facades facing Front Street, however, do not include the same amount of windows as provided throughout the other building facades.

The applicant indicates that the northern façade includes a window traveling continuously between the second and fourth floors in order to demonstrate a willingness to meet the design standards while balancing an aesthetic appearance of the building along with desired signage in this location. The applicant explains that windows have not been proposed along the first floor of this façade because it's

primarily blocked from view of Front Street by the proposed CMU screen wall that projects from the north of the building.

One of the corresponding design standards to this design guideline requires upper floor building facades facing streets and open space to include vertically-oriented windows along a minimum of 30 percent of each building floor length, and on a minimum of 30 percent of the overall exterior wall area, of the upper floor facade.

In review of the proposed northern façades of the building, there are no windows provided on the southernmost of the two northern facades facing Front Street because the wall is a shear wall. The northernmost of the two northern facades facing Front Street includes a window approximately 2 feet in width, 37 feet in height, and 74 square feet area.

Based on the corresponding design standard to this design guideline a minimum overall combined total of 7 feet of window length on each building floor, and an overall combined total of 259 square feet of window area, would be required on the upper floors of these facades. The amount of windows provided on these facades however, do not meet the corresponding design standard or the design guideline.

In order to ensure that the proposed building meets the requirements of this design guideline by providing windows on upper floor facades, the following condition of approval is recommended:

Condition 2: The design of the upper floors of the northernmost façade of the building facing Front Street shall be revised to include vertically-oriented windows along a minimum of 30 percent of each building floor length and on a minimum of 30 percent of the overall exterior wall area of the upper floor façade.

For purposes of calculating the amount of windows required, the building floor lengths and overall areas of the upper floor facades of both the northernmost and southernmost façades of the building facing Front Street shall be counted. Because the southernmost façade of the building facing Front Street is a shear wall, the overall amount of windows required on both facades shall be consolidated on the northernmost façade of the building facing Front Street.

The design of the windows on this façade shall continue the design of the windows of the eastern façade of the building facing Front Street by maintaining the same window height, muntin design, window shading elements, and metal siding between the windows on each floor.

In lieu of providing the required windows on the fourth floor of the façade, a sign may instead be located on the fourth floor of the façade subject to the requirements of SRC Chapter 900. The overall amount of required windows on the upper floor façade may be correspondingly reduced by the minimum amount necessary to accommodate the sign.

The building design as proposed, and recommended to be conditioned, will provide windows on the ground floor and upper floor facades of the building of sufficient size and spacing to ensure visibility to the street and surrounding open space areas. The proposed development conforms to this design review guideline.

▪ **Primary Building Entries(SRC 531.035(a)(4)(A)):**

- (i) ***Primary building entries shall be inviting to pedestrians and promote a sense of interaction between the public and private realms. Opaque doors shall be avoided.***

Finding: As shown on the floor plan for the first floor of the building, and illustrated on the elevation drawings and building renderings, primary building entrances are provided facing Front Street and the proposed parking lot to the south of the building. The doors of the entries will consist of transparent glass to promote visibility and a sense of interaction between the public and private realms. The location of the entries at prominent locations in the building, their proximity to the sidewalk along Front Street, and the provision of canopies above them for weather protection also ensures that the entries are inviting to pedestrians. The proposed development conforms to this design review guideline.

- (ii) ***Building entries shall create a “transition zone” between the public realm on the sidewalk and the private realm within the building.***

Finding: The entries of the proposed building create a transition zone between the public realm on the sidewalk and the private realm within the building as required by this design guideline by enhancing the excess right-of-way between the building and the sidewalk along Front Street as a plaza area improved with special paving and landscaping; by providing canopies above the primary entries into the building to help delineate them and provide weather protection to individual as they enter the building; and by providing an interior common lobby space within the building that the building entries enter into.

The proposed plaza along Front Street, canopies over the building entrances, and interior lobby space within the building all help to define the primary entries into the building and promote a sense of transition between the activities in the public realm along the sidewalk and the activities in the private realm within the building. The proposed development conforms to this design review guideline.

▪ **Mechanical and Service Equipment (SRC 531.035(a)(5)(A)):**

- (i) ***Ground level and rooftop mechanical and service equipment shall be visually screened and, whenever possible, located so it is not visible from public sidewalks and open spaces.***

Finding: The applicant indicates that proposed rooftop mechanical equipment is setback a sufficient distance from the perimeter of the building so as to be screened. The applicant indicates that the height of the parapet wall is sufficient to allow equipment on the roof to be placed without the need for additional screening. The applicant also indicates that the trash enclosure on the ground level provides the necessary screening of the trash area from pedestrians and vehicles.

As shown on the proposed plans and building elevations, rooftop mechanical equipment will be screened from view from public sidewalks and open spaces by a parapet wall along the perimeter of the roof of the building that is a minimum 3 feet-6 inches in height.

The proposed trash/recycling area at ground level is also screened from view from public sidewalks and open spaces by a 6-foot-tall cmu block wall enclosure; but due to the configuration of the site and the location of the building at the northern end, it is not possible for the trash enclosure itself to be sited in an area that is not visible. The trash enclosure is, however, sited in a manner to minimize its visibility from sidewalks and public open spaces. This is achieved by setting back the trash enclosure area as far as possible from the street while facing the entrance of the enclosure to the west so as not to be visible from the sidewalk and still maintain access and serviceability by the franchised hauler. The proposed development conforms to this design review guideline.

(ii) Maximize opportunities to incorporate sustainable energy measures, such as solar panels and wind generators, into buildings.

Finding: Energy efficient building design, building materials, and equipment will be used. The proposed development conforms to this design review guideline.

B. SRC 531.035(b) Pedestrian-Oriented Building Design: Specific

SRC 531.035(b), Pedestrian-Oriented Building Design: Specific, provides that the design review guidelines and design review standards set forth under SRC 531.035(b) apply to buildings located along the north side of Pringle Creek, along Commercial Street, and at the corner of Commercial Street and Front Street. It further provides that the design review guidelines and design review standards applicable to parking under SRC 531.035(b)(2) apply to all of the previously identified frontages, but also to the frontage along Front Street.

As identified above, only the parking design review requirements under SRC 531.035(b) apply to the proposed development because the property is located along Front Street, but is not located along the north side of Pringle Creek, Commercial Street, or the corner of Commercial Street and Front Street.

▪ Building Setbacks and Frontages (SRC 531.035(b)(1)(A)):

(i) Buildings shall create well-defined “edges” to the public realm by minimizing setbacks from the street right-of-way. Zero lot line buildings are encouraged. Buildings may be sited so as to create opportunities for well-designed public or civic spaces between buildings and the sidewalk.

Finding: As shown on the site plan, the proposed building is located contiguous to the right-of-way of Front Street thereby resulting in a zero lot line building as required by this design guideline. The multi-story height of the building and the minimized setback from the right-of-way create a well-defined edge to the public realm along the west side of the Front Street, and the proposed plaza area within the street right-of-way creates a well-designed public/civic space between the building and the sidewalk along Front Street.

Because the subject property is not located along the north side of Pringle Creek, Commercial Street, or the corner of Commercial Street and Front Street, this design review guideline is not applicable to the proposed development. The proposed development, however, nevertheless conforms to this design review guideline.

- (ii) A comfortable, inviting, and well-framed open space environment shall be created along Pringle Creek by establishing a well-defined building wall "edge" along the north bank of the creek.***

Finding: Because the subject property is not located along the north side of Pringle Creek, this design review guideline is not applicable to the proposed development.

- (iii) Pringle Creek, the site's principal natural asset, shall be preserved by setting buildings back a sufficient distance from the north bank of the creek.***

Finding: Because the subject property is not located along the north side of Pringle Creek, this design review guideline is not applicable to the proposed development.

- (iv) Buildings and primary building entries shall be oriented to and easily accessible from sidewalks and public open space.***

Finding: As shown on the site plan, elevation drawings, and renderings for the proposed development, the primary entries to the building are located near the southeast corner of the building in close proximity to Front Street. The entries are also directly accessible from Front Street via a sidewalk.

Because the subject property is not located along the north side of Pringle Creek, Commercial Street, or the corner of Commercial Street and Front Street, this design review guideline is not applicable to the proposed development. The proposed development, however, nevertheless conforms to this design review guideline.

▪ **Parking (SRC 531.035(b)(2)(A)):**

- (i) Surface parking lots along buildings facing public streets shall be buffered from view by pedestrians on the sidewalk. Whenever possible, surface parking lots shall be placed behind buildings.***

Finding: Because the subject property is located along Front Street, this design review guideline relating to parking is applicable to the proposed development.

Due to the configuration of the property and the proposed placement of the building at the north end of the site, it is not possible to locate the surface parking area behind the proposed building. Instead, the proposed parking area is located to the south of the building; no parking is proposed between the building and Front Street.

In order to buffer the proposed surface parking from Front Street, the parking area is setback from Front Street ranging from 6 feet, at its closest point, to approximately 58 feet, at its furthest point. The setback area will be landscaped and a 3-foot-tall screen wall will be provided in addition to the landscaping to screen the parking area. The placement of the parking area to the side of the building and the landscaped setback provided between the parking area and Front Street ensure that the proposed surface parking lot is buffered from view by pedestrians on the sidewalk. The proposed development conforms to this design review guideline.

- (ii) Parking structures fronting on public streets shall include space for ground floor commercial and/or Household Living uses along their public street facing facades in order to create an active and engaging pedestrian environment.***

Finding: Because the subject property is located along Front Street, this design review guideline relating to parking is applicable to the proposed development; however, because the proposed development does not include any structured parking it is ultimately not applicable.

▪ **Weather Protection (SRC 531.035(b)(3)(A)):**

- (i) ***Weather protection, in the form of awnings, canopies, arcades, or galleries appropriate to the design of the building, shall be provided along ground floor building facades facing streets and public space in order to create a comfortable and inviting pedestrian environment.***

Finding: As shown on the building elevation drawings and renderings for the proposed building, canopies for weather protection are provided along the building's Front Street façade and over the primary entries into the proposed building in order to create a comfortable and inviting pedestrian environment.

Because the subject property is not located along the north side of Pringle Creek, Commercial Street, or the corner of Commercial Street and Front Street, this design review guideline is not applicable to the proposed development. The proposed development, however, nevertheless conforms to this design review guideline.

C. **SRC 531.035(c) Relationship to Riverfront Park**

▪ **Park-Facing Ground Floors (SRC 531.035(c)(1)(A)):**

- (i) ***The park-facing ground floors of buildings located along Riverfront Park shall be highly integrated and responsive to the park and shall enhance the public environment. If structured parking is provided, the park facing ground floor of the parking structure shall include space for commercial and/or Household Living uses to the extent practicable in order to activate the ground floor and provide "eyes" on the park.***

Finding: The subject property is not located along Riverfront Park. This design review guideline is therefore not applicable to the proposed development.

▪ **Building Shadows (SRC 531.035(c)(2)(A)):**

- (i) ***Buildings shall be sited adjacent to Riverfront Park in a manner that minimizes shadows on the playground.***

Finding: The subject property is not located adjacent to Riverfront Park. This design review guideline is therefore not applicable to the proposed development.

D. **SRC 531.035(d) Gateways**

▪ **Corner Treatments (SRC 531.035(d)(1)(A)):**

- (i) ***Buildings located at corners and gateways shall incorporate architectural or site planning design elements that visually emphasize the corner of the building. One or more of the following techniques may be used to meet this guideline:***

- (aa) Prominent architectural elements that emphasize the corner of the building, such as increased building height or massing, cupolas or turrets, pitched roofs at the corner of the building, special window treatments, etc. (see Figure 531-22).***
- (bb) Special “signature” signage located at the corner of the building (see Figure 531-24).***
- (cc) Public gathering spaces, such as plazas, located at the corner that incorporate special paving materials, site furnishings, and/or landscaping treatments (see Figure 531-25).***

Finding: SRC 531.035(d), Figure 531-21, identifies those locations within the SWMU Zone designated as corner / “Gateway” locations where architectural and site plan design elements are required that emphasize the corner of the building. As identified by Figure 531-21, the proposed building is not located at one of the corner / “Gateway” locations of the SWMU zone. This design review guideline is therefore not applicable to the proposed development.

E. SRC 531.035(e) Pedestrian Connections

▪ **Required Pedestrian Connections (SRC 531.035(e)(1)(A)):**

- (i) An easement or public dedication shall be provided promoting connectivity for non-vehicular traffic along the north bank of Pringle Creek. The connection shall be accessible from the sidewalk along Commercial Street, and shall connect to Riverfront Park.***

Finding: The subject property is not located along the north bank of Pringle Creek. This design review guideline is therefore not applicable to the proposed development.

- (ii) Convenient pedestrian access and connectivity shall be provided from the northwestern portion of the site to pedestrian facilities in Riverfront Park.***

Finding: The subject property is not located within the northwest portion of the site next to Riverfront Park. This design review guideline is therefore not applicable to the proposed development.

FINDINGS ADDRESSING APPLICABLE SALEM REVISED CODE APPROVAL CRITERIA FOR CLASS 3 SITE PLAN REVIEW

9. CLASS 3 SITE PLAN REVIEW APPROVAL CRITERIA

Site plan review is required for any development that requires a building permit, unless the development is identified as being exempt from site plan review under SRC 220.005(a)(2). Class 3 Site Plan Review is required for development proposals that involve a land use decision or limited land use decision as defined under ORS 197.015. Because the proposed development involves a Class 3 Design Review and a SWMU Zone Development Phasing Plan, the proposed site plan review must be processed as a Class 3 Site Plan Review.

Salem Revised Code (SRC) 220.005(f)(3) sets forth the following criteria that must be met before approval can be granted to an application for Class 3 Site Plan Review. The following subsections are organized with approval criteria shown in ***bold italic***, followed by findings evaluating the proposed development’s conformance with the criteria. Lack of compliance

with the following criteria is grounds for denial of the Class 3 Site Plan Review application, or for the issuance of certain conditions to ensure the criteria are met.

(A) *The application meets all applicable standards of the UDC.*

Finding: The proposed development includes an approximate 23,500 square-foot office building with associated parking and vehicle circulation areas.

The subject property is designated "River Oriented Mixed-Use" on the Salem Area Comprehensive Plan Map and zoned SWMU (South Waterfront Mixed-Use). The allowed uses and applicable development standards of the SWMU zone are set forth under SRC Chapter 531.

The proposed development conforms to SRC Chapter 531 and all other applicable development standards of the Salem Revised Code as follows:

SRC CHAPTER 531 (SWMU ZONE)

SRC 531.010(a) - Allowed Uses:

Allowed uses within the SWMU zone are identified under SRC 531.010(a), Table 531-1. The subject property is proposed to be developed as a 23,500 square-foot office building. Pursuant to SRC 531.010, Table 531-1, offices are a permitted use within the SWMU zone.

SRC 531.010(d) - Mix of Uses Required:

Within the SWMU zone a minimum of 15 percent of each development site must be developed with uses falling under Household Living and a minimum of 15 percent of each development site must be developed with uses falling under a use category other than Household Living.

Pursuant to 531.015(a), when the required mix of uses will be met in phases, a development phasing plan is required. Pursuant to SRC Chapter 400 (Use Classifications), the uses within the proposed office building are classified as uses other than Household Living. In order to fulfill the Household Living portion of the mix of uses required for development within the SWMU zone, a development phasing plan has been submitted in conjunction with the proposed development that includes the office building proposed for the portion of the former Boise Cascade site located at 235 Front Street SE as well as the remaining portions of the Boise site that have been developed and those to be developed in the future.

Analysis of the proposed development phasing plan for conformance with the applicable development phasing plan approval criteria contained under SRC 531.015(d) is included in Section 10 of this report. As identified by the findings included in that section, the proposed development phasing plan provides a mix of Household Living and non-Household Living Uses that exceeds the minimum mix of uses required under SRC 531.010(d).

SRC 531.015 - Development Phasing Plan:

The SWMU zone requires the approval of a development phasing plan when the required mix of uses for a development site will be met in phases. As previously discussed, the proposed development will meet the required mix of uses through a phasing plan that includes the Household Living uses that were developed in the initial

phases of the development of the former Boise site on the south block. Analysis of the development phasing plan and findings establishing its conformance with the applicable development phasing plan approval criteria contained under SRC 531.015(d) are included in Section 10 of this report.

SRC 531.025(a) - Lot Standards:

Lot standards within the SWMU zone are established under SRC 531.025(a), Table 531-2. Within the SWMU zone there are no minimum lot area, width, depth, or street frontage requirements.

SRC 531.025(b) - Setbacks:

Pursuant to SRC 531.025(b), Table 531-3, setbacks for buildings and accessory structures within the SMVU zone are based on the SWMU zone design review standards and design review guidelines set forth in SRC 531.035. Setback requirements for parking and vehicle use areas are based on the requirements of SRC Chapter 806 (Off-Street Parking, Loading, and Driveways). SRC 806.035(c) establishes perimeter setback requirements for parking and vehicle uses areas adjacent to streets, interior property lines, and buildings.

Findings establishing how the proposed building conforms to the applicable design review guidelines of the SWMU zone concerning setbacks are established under Section 8 of this report.

Based on the requirements of SRC Chapter 806.035(c), the off-street parking and vehicle use areas included within the development are required to have the following setbacks:

Parking & Vehicle Use Area Setbacks	
Abutting Street	
Min. 6 ft. to 10 ft. <i>(Per alternative setback methods under SRC 806.035(c)(2))</i>	Applicable abutting Front Street.
Interior Side	
Min. 5 ft. with Type A Landscaping <i>(Per SRC 806.035(c)(3))</i>	Applicable abutting south property line.
Interior Rear	
Min. 5 ft. with Type A Landscaping <i>(Per SRC 806.035(c)(3))</i>	Applicable to west property line abutting railroad right-of-way.
Adjacent to Building and Structures	
Min. 5 ft. <i>(Developed as either a landscape strip with Type A Landscaping or a paved pedestrian walkway)(Per SRC 806.035(c)(4))</i>	Applicable where a parking and vehicle use area is located adjacent to the perimeter of a building or structure.

As shown on the site plan for the development, setbacks for the proposed parking and vehicle use area abutting Front Street range from 6 feet, at its closest point, to approximately 58 feet, at its furthest point. Because portions of the parking and vehicle use area located to the south of the proposed driveway approach onto Front Street are setback less than 10 feet from Front Street, the development includes a proposed 3-foot tall concrete masonry unit (cmu) wall located outside the minimum required setback in order to screen the parking and vehicle use area from the street and conform to the requirements of SRC 806.035(c)(2)(D).

The portion of the parking and vehicle use area located to the north of the driveway approach onto Front Street is also setback less than 10 feet from the street. Because this portion of the parking area and vehicle use area is setback less than 10 feet, a minimum 3-foot-tall screen wall is also required for this portion of the parking and vehicle use area. The required wall, however, is not currently identified on the site plan. In order to ensure the portion of the proposed parking and vehicle use area located to the north of the driveway approach onto Front Street SE conforms to the perimeter landscaping requirements abutting a street as required under SRC 806.035(c)(2)(D), the following condition of approval is recommended:

Condition 1: A minimum 3-foot-tall wall, in conformance with the requirements of SRC 806.035(c)(2)(D), shall be provided to screen, from Front Street SE, the portion of the proposed off-street parking and vehicle use area located to the north of the driveway approach onto Front Street SE.

As shown on the site plan for the development, the proposed parking and vehicle use area is setback approximately 15 feet from the interior rear property line on the west side of the property. The 15-foot setback provided exceeds the minimum 5-foot setback required under SRC 806.035(c)(3).

As shown on the site plan for the proposed development, a minimum 5-foot-wide landscaped setback is not provided between the proposed parking and vehicle use area and the interior side property line on the south side of the property as required under SRC 806.035(c)(3). No setback is provided in this area because both the proposed office development and the development on the abutting property to the south will share site access and circulation, and provision of a landscape setback between the parking areas of the two developments in this area would impede the shared access and circulation between them. In order to address the issue created by the required setback between the two properties, a Class 2 Adjustment was requested as part of Design Review, Site Plan Review, SWMU Zone Development Phasing Plan, and Class 2 Adjustment Case No. DR-SPR-SWMUDPP-ADJ16-04. That application was for development of the abutting property to the south, but also included needed improvements on the subject property at 235 Front Street to enable the shared access, circulation, and stormwater management system proposed between the two properties. The adjustment that was approved eliminated the required 5-foot setback on both sides of the property line between the two properties.

SRC 806.035(c)(4) requires parking and vehicle uses areas to be separated from the perimeter walls of any adjacent building or structure on the site by a minimum 5-foot-wide landscape strip or a minimum 5-foot-wide paved pedestrian path. As shown on the site plan for the development, the proposed parking area adjacent to the building at the north end of the site is separated from the perimeter of the building by a paved sidewalk that is approximately 11 feet and more in width. The proposed development therefore conforms to the parking area perimeter setback standards adjacent to buildings and structures required under SRC 806.035(c)(4).

SRC 531.025(c) - Lot Coverage:

Lot coverage requirements within the SWMU zone are established under SRC 531.025(c), Table 531-4. Within the SWMU zone there is no maximum lot coverage for buildings and accessory structures.

SRC 531.025(c) - Height:

Height requirements for buildings and accessory structures within the SWMU zone are established under SRC 531.025(c), Table 531-4. Within the SWMU zone there are no minimum or maximum height restrictions for buildings or accessory structures.

SRC CHAPTER 806 (OFF-STREET PARKING, LOADING, & DRIVEWAYS)

SRC Chapter 806 establishes requirements for off-street parking, loading, and driveways. Included in the chapter are standards for minimum and maximum off-street vehicle parking; minimum bicycle parking; minimum loading; and vehicle parking, bicycle parking, loading, and driveway development standards.

Off-Street Parking:

Minimum Off-Street Vehicle Parking. Minimum off-street vehicle parking requirements are established under SRC Chapter 806, Table 806-1. The minimum off-street parking requirement for the proposed development is as follows:

Minimum Off-Street Parking	
Office	1 space per 350 ft. ²

Maximum Off-Street Vehicle Parking. Maximum off-street vehicle parking requirements are established under SRC Chapter 806, Table 806-2. The maximum number of allowed parking spaces is based upon the minimum number of spaces required for the proposed development. If the minimum number spaces required equals 20 spaces or less, the maximum allowed parking is 2.5 times the minimum number of spaces required. If the minimum number of spaces required equals more than 20 spaces, the maximum allowed parking is 1.75 times the minimum number of spaces required.

Based on the above identified minimum and maximum off-street parking requirements, the proposed 23,500 square-foot office building results in the following off-street parking requirement:

Off-Street Parking Summary			
Use	Minimum Spaces Req.	Maximum Spaces	Spaces Provided
Office	67	117	68

As shown on the site plan for the proposed development, a total of 68 parking spaces are provided for the proposed office building. The 68 parking spaces provided conform to the minimum and maximum parking requirements established under SRC Chapter 806.

Compact Parking. SRC 806.015(b) allows for the utilization of compact parking stalls to satisfy up to 75 percent of the required off-street parking spaces.

The proposed development includes a total of 40 compact parking spaces. The 40 compact parking spaces proposed equal approximately 59 percent of the overall 68 spaces provided; therefore not exceeding the maximum 75 percent limit.

The proposed compact spaces within the development do not exceed the maximum number of spaces allowed and therefore conform to this standard.

Parking Area Interior Landscaping. SRC 806.035(d) establishes interior landscaping requirements for parking areas greater than 5,000 square feet in size.

As indicated in the plans for the development, the proposed parking area totals approximately 29,335 square feet in size. Pursuant to SRC 806.035(d)(2), Table 806-5, parking areas less than 50,000 square feet in size are required to provide a minimum of 5 percent interior landscaping.

A summary of the parking area interior landscaping required and provided by the proposed development is provided in the table below.

Summary of Parking Area Interior Landscaping		
Parking Area Size	Minimum Interior Landscaping Required	Interior Landscaping Provided
29,335 ft. ²	1,467 ft. ²	2,730 ft. ²

As evidenced by the table above, the parking area for the proposed development includes interior landscaping which exceeds the minimum landscaping requirements of SRC 806.035(d)(2).

In addition to requiring a specific percentage of the area of an off-street parking area to be landscaped, SRC 806.035(d)(3) requires a minimum of 1 deciduous shade tree to be planted within the off-street parking area for every 12 parking spaces provided. As indicated on the site plan, the proposed development includes a total of 68 parking spaces. Based on the minimum tree planting requirement of 1 tree for every 12 parking spaces, the proposed parking area is required to include a minimum of 6 trees. As shown on the landscaping plan for the proposed development, 10 trees are provided which exceeds the parking area tree planting requirements of SRC 806.035(d)(3).

Bicycle Parking:

Minimum Bicycle Parking. Minimum bicycle parking requirements are established under SRC Chapter 806, Table 806-8. The minimum bicycle parking requirement for the proposed development is as follows:

Minimum Bicycle Parking		
Office	The greater of 4 spaces or 1 space per 3,500 ft. ²	Applicable to buildings 50,000 square feet or less in size

Based on the above identified minimum bicycle parking requirements, the proposed 23,500 square-foot office building results in the following bicycle parking requirement:

Bicycle Parking Summary		
Portion of Development Site	Minimum Spaces Req.	Spaces Provided
Office	7	7

As shown on the site plan for the proposed development and summarized in the table above, a total of 7 bicycle parking spaces are provided for the development; therefore, satisfying minimum bicycle parking requirements.

Bicycle Parking Location. SRC 806.060(a) requires bicycle parking areas to be located within a convenient distance of, and clearly visible from, the primary entrance of a building, but in no event shall the bicycle parking area be located more than 50 feet from the primary building entrance. As shown on the site plan for the development, there are four bike racks provided near the southeast corner of the proposed building. These bicycle spaces are within approximately 35 feet of, and clearly visible from, the primary entrance to the building. The proposed spaces therefore conform to the bicycle parking location standards of SRC 806.060(a).

Bicycle Parking Access. SRC 806.060(b) requires bicycle parking areas to have direct and accessible access to the public right-of-way and the primary building entrance. The proposed bicycle parking spaces included within the development are located near the southeast corner of the office building adjacent to the right-of-way of Front Street. The location of the spaces in proximity to the building entrance, the Front Street right-of-way, and a pedestrian pathway connecting the sidewalk on Front Street to the main entry of the building ensures that the bike spaces are located in an area that conforms to the bicycle parking access requirements of SRC 806.060(b).

Bicycle Parking Dimensions. SRC 806.060(c) requires bicycle parking spaces to be a minimum of 2 feet in width by 6 feet in depth, and served by a minimum 4-foot-wide access aisle. As shown on the site plan for the proposed development, the proposed bicycle parking spaces are a minimum of 2 feet in width and 6 feet in depth. They are also served by an access aisle that is a minimum of 4 feet in width. The proposed development therefore conforms to the minimum bicycle parking space dimensions of SRC 806.060(c).

Loading:

Minimum loading requirements are established under SRC Chapter 806, Table 806-9. The minimum loading requirement for the proposed development is as follows:

Minimum Loading		
Business and Professional Services	Buildings 5,000 ft. ² to 60,000 ft. ²	Min. 1 space 12 ft. W x 19 ft. L x 12 ft. H

Based on the above identified minimum off-street loading requirements, the proposed 23,500 square-foot office building requires a minimum of 1 off-street loading space. In lieu of providing a loading space meeting the length, width, and height requirements identified in the above table, SRC 806.075(a) allows for an off-street parking space to be used in place of a loading space when the proposed use will not require a delivery vehicle which exceeds a maximum combined vehicle and load rating of 8,000 pounds and the off-street parking space is located within 25 feet of the building it serves.

As shown on the site plan for the proposed development, a specific designated loading space is not provided for the development. The applicant indicates that the off-street loading requirement for the development will instead be met through the utilization of an off-street parking space as allowed under SRC 806.075(a). The applicant indicates that no vehicles over 8,000 pounds will be required to service the proposed facility. Because no vehicles over 8,000 pounds will be needed to service the facility, an off-street parking area may be used to satisfy off-street loading requirements per SRC 806.075(a).

SRC 800.055 (SOLID WASTE SERVICE AREAS)

SRC 800.055 establishes standards that apply to all new solid waste, recycling, and compostable service areas, where use of a solid waste, recycling, and compostable receptacle of 1 cubic yard or larger is proposed.

As shown on the site plan for the proposed development, an uncovered trash/recycling area to serve the development is located on the southwestern portion of the site within the proposed parking area. The trash/recycling area is enclosed by a minimum 6-foot-tall wall, has an interior dimension within the enclosure of approximately 16 feet in width by 11 feet – 4 inches in depth, is free of vertical obstructions above the receptacles, and includes an unobstructed vehicle operation area that is 16 feet in width by 45 feet in length.

Because the size of the proposed trash receptacles to be utilized with the development are 2 yard bins, the vehicle operation area to service the trash enclosure area is not located directly in front of the enclosure, but is instead located in the parking lot drive aisle to the north of the enclosure. Pursuant to SRC 800.055(f)(1)(B), the proposed vehicle operation area is sited in a location where the receptacles can be safely maneuvered manually not more than 45 feet into position at the end of the vehicle operation area for servicing.

The proposed trash/recycling area appears to meet the applicable standards of SRC Chapter 800.055. At the time of building permit review, the location and features of the proposed trash/recycling area will be reviewed for conformance with applicable development standards of SRC 800.055. In order to ensure the proposed trash/recycling area conforms to the applicable standards of SRC 800.055, the following condition of approval is recommended:

Condition 2: The trash/recycling area shall conform to the solid waste service area standards of SRC 800.055.

Comments from the Public Works Department (**Attachment D**) indicate that because the trash/recycling area is uncovered it is also subject to Administrative Rule 109-012 Appendix D which requires a Trash Area Management Plan. In order to ensure the proposed trash/recycling area conforms to this requirement, the following condition of approval is recommended:

Condition 3: Provide a Trash Area Management Plan pursuant to Administrative Rule 109-012 Appendix D.

SRC CHAPTER 808 (PRESERVATION OF TREES & VEGETATION)

The City's tree preservation ordinance (SRC Chapter 808) protects Heritage Trees, Significant Trees (including Oregon White Oaks with diameter-at-breast-height of 24 inches or greater), trees and native vegetation in riparian corridors, and trees on lots and parcels greater than 20,000 square feet. The tree preservation ordinance defines "tree" as, "any living woody plant that grows to 15 feet or more in height, typically with one main stem called a trunk, which is 10 inches or more dbh, and possesses an upright arrangement of branches and leaves."

There are no trees located on the subject property, but there are, however, street trees located adjacent to the subject property within the right-of-way of Front Street SE. Because there are no trees located on the subject property, the tree preservation requirements of SRC Chapter 808 are not applicable to the proposed development.

Removal of any trees from within the right-of-way of public streets is subject to the requirements of SRC Chapter 86.

SRC CHAPTER 809 (WETLANDS):

According to the Salem-Keizer Local Wetlands Inventory (LWI), the subject property does not contain any mapped wetlands or waterways.

SRC CHAPTER 810 (LANDSLIDE HAZARDS)

According to the City's adopted landslide hazard susceptibility maps, the subject property does not contain any mapped landslide hazard susceptibility points. Pursuant to the City's landslide hazard ordinance (SRC Chapter 810), a geologic assessment is therefore not required in conjunction with the proposed development.

- (B) The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately.**

Finding: The subject property abuts Front Street SE. Front Street is designated as a parkway street within the Salem Transportation System Plan (TSP) requiring a special street improvement width of 44 feet and a special street right-of-way width of 70 (per Table G-1 of TSP). Front Street is currently improved to an approximate width of 44 feet within a 70-foot wide right-of-way adjacent to the subject property. Because Front Street is also a State Highway, it is under the jurisdiction of the Oregon Department of Transportation.

As indicated in the comments from the Public Works Department (**Attachment D**), Front Street meets the right-of-way width and pavement width standards per the Salem TSP. This criterion is met.

- (C) Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians.**

Finding: Vehicular access to the proposed development is provided via a shared two-way driveway off Front Street SE. Pedestrian access to and throughout the interior of the development is provided by a network of pedestrian pathways/sidewalks distributed throughout the site.

The proposed drive approach onto Front Street represents a consolidation of two existing approaches into a single approach and will provide for safe turning movements into and out of the property. The access onto Front Street SE is within the jurisdiction of the Oregon Department of Transportation (ODOT) and access will be granted through a separate permit from ODOT.

In order to ensure safe pedestrian and vehicle access along Front Street, the following condition of approval is recommended:

Condition 4: Replace existing sidewalks along the frontage of Front Street SE where they do not conform to the Public Works Design Standards and close all unused driveways.

The proposed development, as recommended to be conditioned, provides for the safe and efficient movement of vehicles, bicycles, and pedestrians into and out of the proposed development. This approval criterion is met.

- (D) **The proposed development will be adequately served with City water, sewer, stormwater facilities, and other utilities appropriate to the nature of the development.**

Finding: The Public Works Department has reviewed the applicant's preliminary utility plan for the proposed development. Water, sewer, and stormwater infrastructure are available within surrounding streets / areas and appear to be adequate to serve the proposed development. The applicant shall design and construct all utilities (sewer, water, and storm drainage) according to the Public Works Design Standards (PWDS) and to the satisfaction of the Public Works Director. The applicant is advised that a sewer monitoring manhole may be required, and the trash area shall be designed in compliance with Public Works Standards.

The applicant's engineer submitted a statement demonstrating compliance with Stormwater PWDS Appendix 004-E(4)(b) and SRC Chapter 71. The preliminary stormwater design demonstrates the use of green stormwater infrastructure to the maximum extent feasible. The applicant's engineer shall design and construct a storm drainage system at the time of development in compliance with SRC Chapter 71 and the PWDS.

FINDINGS ADDRESSING APPLICABLE SALEM REVISED CODE APPROVAL CRITERIA FOR SWMU ZONE DEVELOPMENT PHASING PLAN

10. SMWU ZONE DEVELOPMENT PHASING PLAN APPROVAL CRITERIA

Salem Revised Code (SRC) 531.015(d) sets forth the following criteria that must be met before approval can be granted to a SWMU Zone Development Phasing Plan. The following subsections are organized with approval criteria shown in ***bold italic***, followed by findings evaluating the proposed development's conformance with the criteria. Lack of compliance with the following criteria is grounds for denial of the SWMU Zone Development Phasing Plan, or for the issuance of certain conditions to ensure the criteria are met.

- (1) ***The plan provides for a mix of uses, as required under SRC 531.010(d). If a size range for uses was provided, the plan demonstrates that the square footages of uses prescribed by the range meet the minimum mix of uses required under SRC 531.010(d).***

Finding: Within the SWMU zone, pursuant to SRC 531.015(d), a minimum of 15 percent of each development site must be developed with uses falling under Household Living and a minimum of 15 percent of each development site must be developed with uses falling under a use category other than Household Living.

As provided under 531.015(a), when the required mix of uses will be met in phases, a development phasing plan is required. Pursuant to SRC Chapter 400 (Use Classifications), the proposed office uses within the development are classified as uses other than Household Living. In order to fulfill the Household Living portion of the mix of uses required for development within the SWMU zone, a development phasing plan (**Attachment B**) has been submitted in conjunction with the proposed development that includes the office building proposed for the portion of the former Boise Cascade site

located at 235 Front Street SE, as well as the remaining portions of the Boise site that have been developed and those to be developed in the future.

As indicated on the development phasing plan, the proposed mix of uses provided on the former Boise Cascade site when both the south block and north block developments are considered is summarized in the table below.

Proposed Mix of Uses					
		Household Living Uses		Non-Household Living Uses	
	<i>Total Square Footage</i>	<i>Household Living Square Footage</i>	<i>Percentage</i>	<i>Non-Household Living Square Footage</i>	<i>Percentage</i>
South Block Apartments Phase 1	152,226	139,461		12,765	
South Block Apartments Phase 2	72,386	72,386		0	
Marquis	43,754	0		43,754	
Park Front	23,070	0		23,070	
Totals:	291,436	211,847	72.7%	79,589	27.3%

As identified by the above table, the resulting mix of Household Living and Non-Household Living uses that will be developed under the proposed phasing plan equals approximately 73 percent Household Living and approximately 27 percent Non-Household living. The proposed development phasing plan achieves the minimum required 15 percent/15 percent mix required under SRC 531.010(d) and therefore conforms to this approval criterion.

- (2) The plan demonstrates that parking, landscaping, on-site circulation, and other on-site improvements can be provided in manner allowing them to function both independently for each phase and cohesively as a whole following complete build out of the development site.**

Finding: The south block of the former Boise Cascade site is developed and functions independently from the developments proposed on the north block due to the separation of the sites by Pringle Creek. The southern portion of north block of the former Boise site will be developed with a post-acute rehabilitation facility and commercial tenant space and the northern portion of the north block will be developed with a 4-story office building. Due to the smaller size and configuration of the two parcels which comprise the north block and access limitations to Front Street, the two developments on the north block will share access and on-site circulation as well as stormwater management facilities.

As shown on the development phasing plan, the parking, landscaping, on-site circulation, and other on-site improvements for both developments are being provided in a manner that will allow them to function both independently for each phase and cohesively as a whole following complete buildout of the site. The proposed development phasing plan conforms to this approval criterion.

- (3) The plan appears to be consistent with the applicable provisions of this Chapter.**

Finding: The south block of the former Boise Cascade site is developed and was reviewed for conformance with the provisions of the SWMU zone as part of the design

review and site plan approvals required for development of that portion of the site. The post-acute rehabilitation facility and commercial tenant space proposed for the southern portion of the north block was reviewed for conformance with the applicable requirements of the SRC, and approved by the Planning Commission, on October 4, 2016. The office building proposed for the northern portion of the north block is currently under review through this application.

As identified by the findings included in this report, the proposed office building, as recommended to be conditioned, conforms to the applicable design review requirements and development standards of the SWMU zone. The proposed development phasing plan conforms to this approval criterion.

(4) The plan demonstrates that adequate City infrastructure and public utilities can be provided to serve the project for each phase and following complete build out of the development site.

Finding: As indicated in the comments provided by the Public Works Department (**Attachment D**), water, sewer, and storm infrastructure are available within surrounding streets/areas and appear to be adequate to serve the development. The proposed development phasing plan conforms to this approval criterion.

CONCLUSION

Based on the facts and findings presented herein, staff concludes that the proposed Class 3 Design Review, Class 3 Site Plan Review, and SWMU Zone Development Phasing Plan, as conditioned, satisfy the applicable criteria contained under SRC 225.005(e)(2), SRC 220.005(f)(3), and SRC 531.015(d) for approval.

RECOMMENDATION

Staff recommends that the Planning Commission adopt the facts and findings of the staff report and take the following action for the subject property located at 235 Front Street SE (Marion County Assessor Map and Tax Lot Number: 073W27BA03102):

- A. **APPROVE** the Class 3 Design Review for the proposed development, subject to the following conditions of approval:

Condition 1: The ground floor of the building shall maintain a finish floor to ceiling height of 12 feet.

Condition 2: The design of the upper floors of the northernmost façade of the building facing Front Street shall be revised to include vertically-oriented windows along a minimum of 30 percent of each building floor length and on a minimum of 30 percent of the overall exterior wall area of the upper floor façade.

For purposes of calculating the amount of windows required, the building floor lengths and overall areas of the upper floor facades of both the northernmost and southernmost façades of the building facing Front Street shall be counted. Because the southernmost façade of the building facing Front Street is a shear wall, the overall amount of windows required on both facades shall be consolidated on the northernmost façade of the building facing Front Street.

The design of the windows on this façade shall continue the design of the windows of the eastern façade of the building facing Front Street by maintaining the same window height, muntin design, window shading elements, and metal siding between the windows on each floor.

In lieu of providing the required windows on the fourth floor of the façade, a sign may instead be located on the fourth floor of the façade subject to the requirements of SRC Chapter 900. The overall amount of required windows on the upper floor façade may be correspondingly reduced by the minimum amount necessary to accommodate the sign.

- B. **APPROVE** the Class 3 Site Plan Review for the proposed development, subject to the following conditions of approval:

Condition 1: A minimum 3-foot-tall wall, in conformance with the requirements of SRC 806.035(c)(2)(D), shall be provided to screen, from Front Street SE, the portion of the proposed off-street parking and vehicle use area located to the north of the driveway approach onto Front Street SE.

Condition 2: The trash/recycling area shall conform to the solid waste service area standards of SRC 800.055.

Condition 3: Provide a Trash Area Management Plan pursuant to Administrative Rule 109-012 Appendix D.

Condition 4: Replace existing sidewalks along the frontage of Front Street SE where they do not conform to the Public Works Design Standards and close all unused driveways.

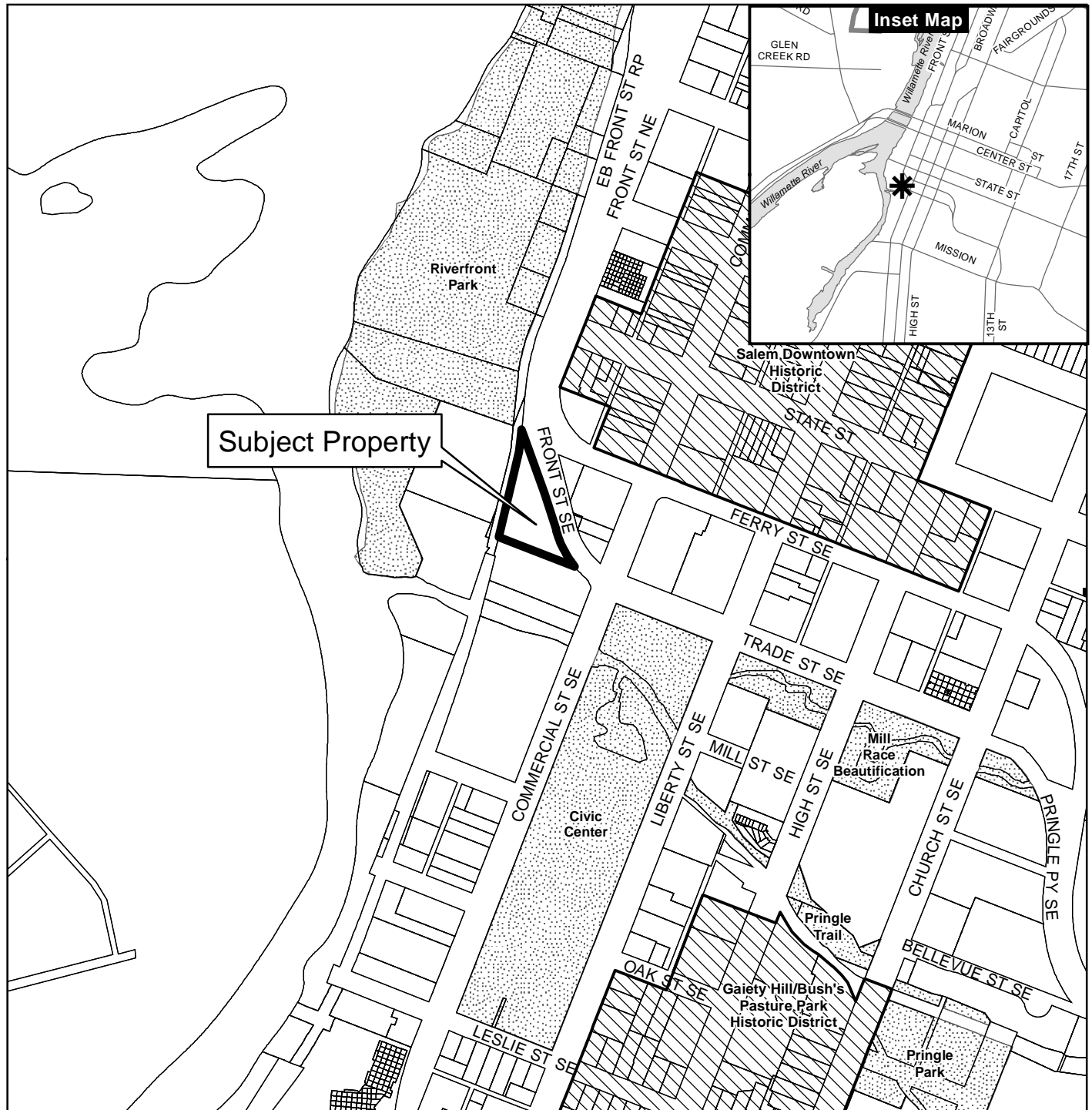
- C. **APPROVE** the South Waterfront Mixed Use Zone Development Phasing Plan to allow the mix of Household Living and Non-Household Living uses required for a development site under the South Waterfront Mixed-Use (SWMU) zone to be met in phases.

- Attachments:**
- A. Vicinity Map
 - B. Applicant's Development Phasing Plan
 - C. Applicant's Plans (site plans, building elevations, and renderings)
 - D. Public Works Department Comments
 - E. Comments from Oregon Department of Transportation (ODOT)

Prepared by Bryce Bishop, Planner II

Vicinity Map 235 Front Street SE

Attachment A



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

Parks

CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

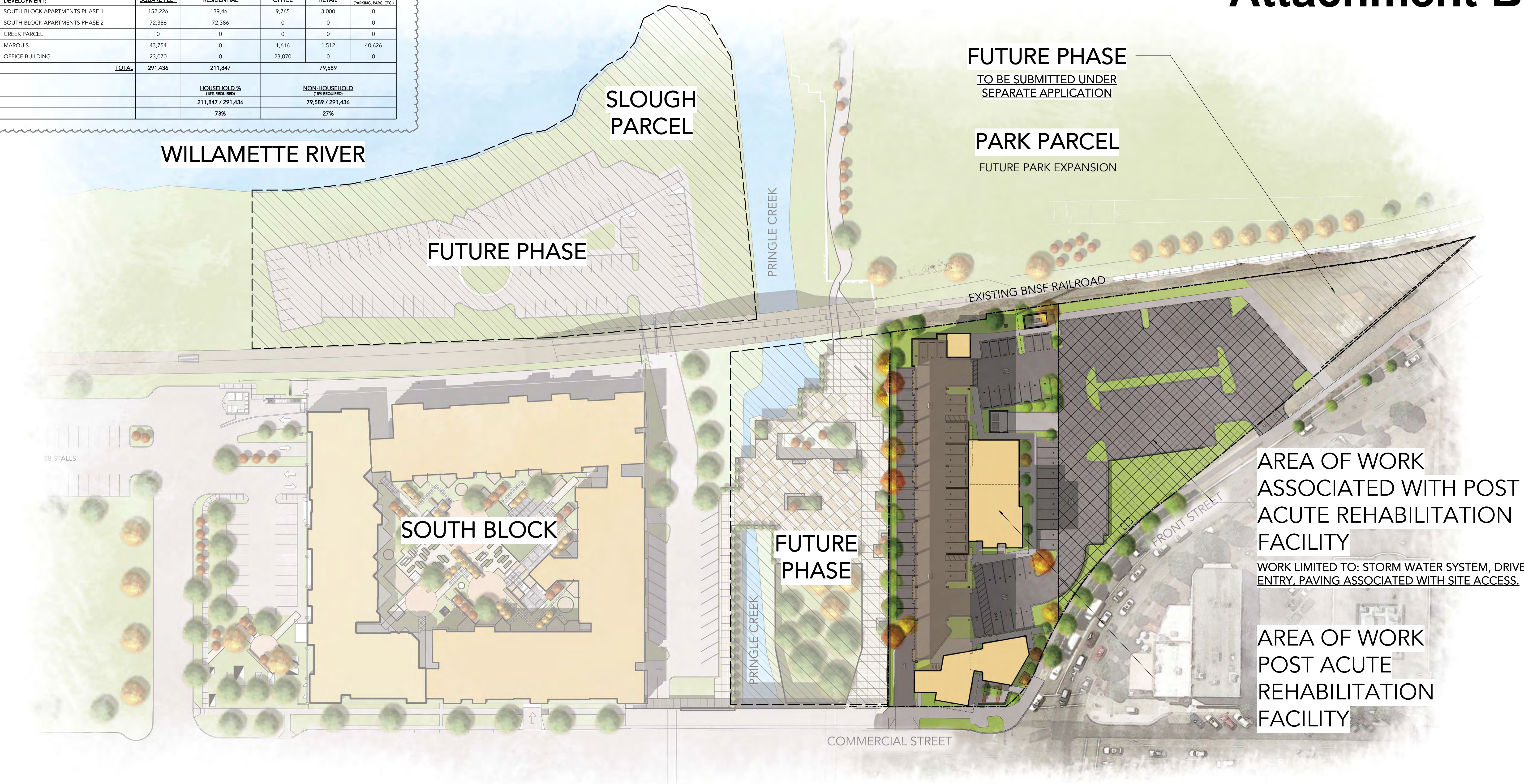
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0 100 200 400 Feet



SOUTH WATERFRONT DEVELOPMENT SWMU CALCULATIONS

		HOUSEHOLD	NON-HOUSEHOLD		
DEVELOPMENT:	SQUARE FEET	RESIDENTIAL	OFFICE	RETAIL	OTHER (PARKING, PARK, ETC.)
SOUTH BLOCK APARTMENTS PHASE 1	152,226	139,461	9,765	3,000	0
SOUTH BLOCK APARTMENTS PHASE 2	72,386	72,386	0	0	0
CREEK PARCEL	0	0	0	0	0
MARQUIS	43,754	0	1,616	1,512	40,626
OFFICE BUILDING	23,070	0	23,070	0	0
TOTAL	291,436	211,847	79,589		
		HOUSEHOLD % (15% REQUIRED)	NON-HOUSEHOLD (15% REQUIRED)		
		211,847 / 291,436	79,589 / 291,436		
		73%	27%		



1 SWMU DEVELOPMENT PHASING



REVISIONS:

DELTA	DESCRIPTION	REVISION DATE
1	PLANNING REVISIONS	2016/06/27
2	PLANNING REVISIONS 2	2016/09/12

PARK FRONT OFFICE BUILDING

230 FRONT STREET
SALEM, OREGON

Attachment C

DESIGN TEAM

OWNER
PARK FRONT LLC
470 53rd AV NW
SALEM, OREGON 97304

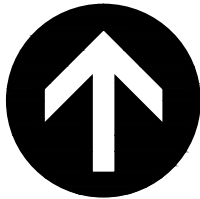
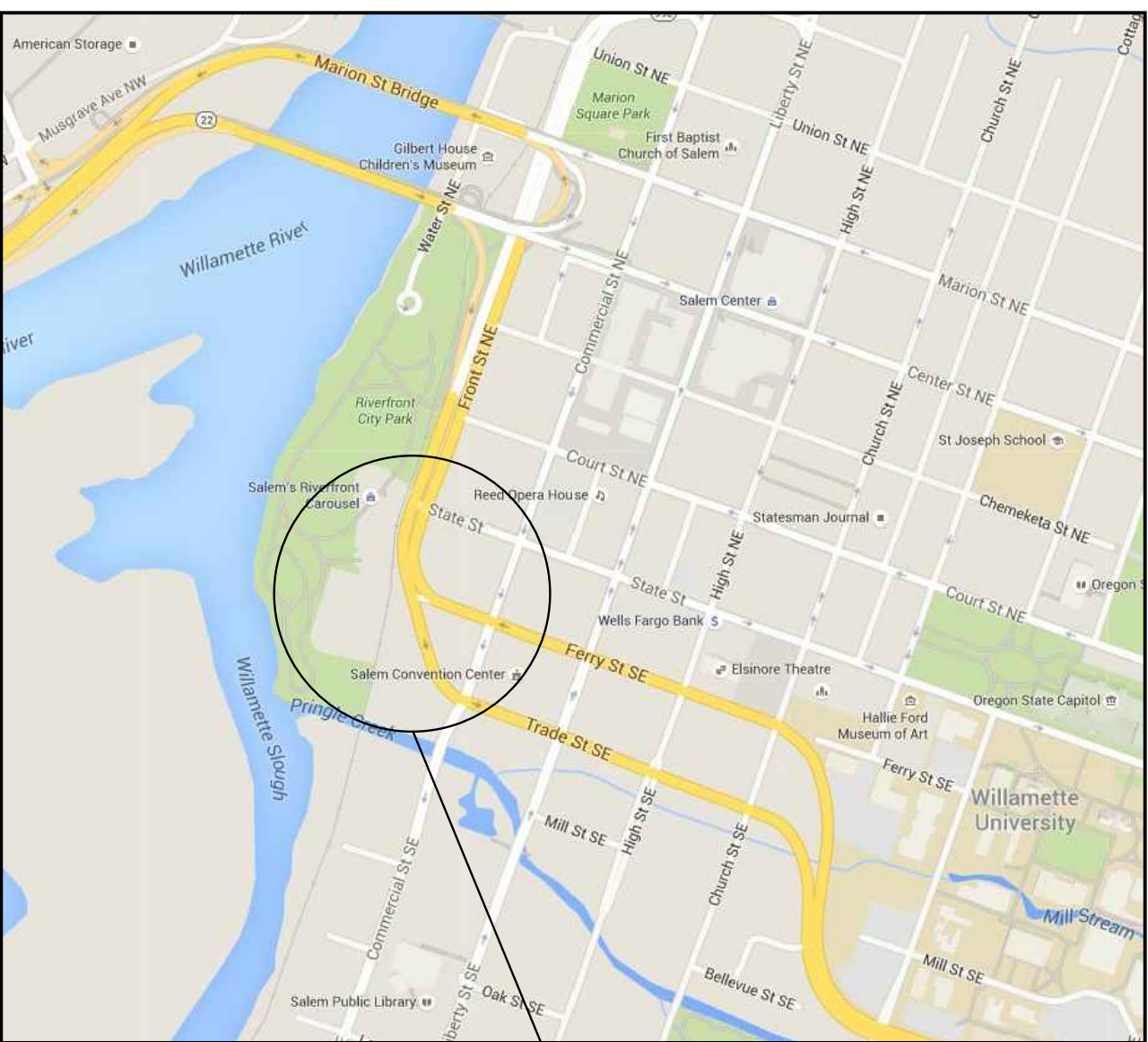
LOCATION
230 FRONT STREET
SALEM, OREGON 97301

ARCHITECT
A C + Co ARCHITECTS
363 STATE STREET
SALEM, OREGON 97301-3533
PH. 503-581-4114
FAX 503-581-3655
ATTN: BLAKE BURAL, AIA
bbural@accocac.com

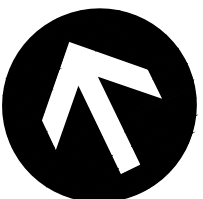
**CIVIL
(BY GENERAL
CONTRACTOR)**
EMERIO DESIGN
8285 SW NIMBUS AV, SUITE 180
BEAVERTON, OREGON 97008
PH. 503-746-8812
ATTN: ERIC EVANS
eric@emeriodesign.com

LANDSCAPE
CHARLES MANGUM
5144 36TH AVENUE SE
SALEM, OREGON 97317
PH. 540-364-1240
ATTN: CHUCK MAGNUM
cmacousn@msn.com

VICINITY MAP



AERIAL VIEW



SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET
A0.2 CODE COMPLIANCE AND SCHEDULES
A0.3 FLOOR PLAN CODE REVIEW
- A1.0 SURVEY PLAN
- AD1.1 OVERALL SITE PLAN - DEMOLITION
A1.1 OVERALL SITE PLAN - NEW
A1.2 TBD
A1.3 SITE DETAILS
- A2.1 FIRST FLOOR PLAN
A2.2 SECOND FLOOR PLAN
A2.3 THIRD FLOOR PLAN
A2.4 FOURTH FLOOR PLAN
A2.5 ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 BUILDING SECTIONS
A3.3 WALL SECTIONS
A3.4 WALL SECTIONS
A3.5 WALL SECTIONS
- A4.0 ENLARGED RESTROOM PLANS AND ELEVATIONS,
TILE PATTERNS
A5.0 INTERIOR ELEVATIONS
- A6.1 FIRST FLOOR REFLECTED CEILING PLAN
A6.2 SECOND FLOOR REFLECTED CEILING PLAN
A6.3 THIRD FLOOR REFLECTED CEILING PLAN
A6.4 FOURTH FLOOR REFLECTED CEILING PLAN
- A7.0 SOUTH STAIR AND ELEVATOR PLANS
A7.1 NORTH STAIR AND SHIPS LADDER PLANS
A7.2 SOUTH STAIR AND ELEVATOR SECTIONS, DETAILS
A7.3 NORTH STAIR AND SHIPS LADDER SECTIONS, DETAILS
A7.4 NORTH STAIR ELEVATIONS, DETAILS
A7.5 STAIR SECTION AND DETAILS
- A8.0 DOOR, WINDOW AND FRAME TYPES
A8.1 DOOR, WINDOW AND FRAME DETAILS
A8.2 DETAILS
A8.3 DETAILS

MECHANICAL

DESIGN/BUILD UNDER SEPARATE COVER

PLUMBING

DESIGN/BUILD UNDER SEPARATE COVER

ELECTRICAL

DESIGN/BUILD UNDER SEPARATE COVER

FIRE SPRINKLER

DESIGN/BUILD UNDER SEPARATE COVER

CIVIL

- 1 COVER SHEET
2 EXISTING CONDITIONS PLAN
3 SITE PLAN
4 COMPOSITE UTILITY PLAN
5 GRADING PLAN
6 LIMITS OF GREENWAY

ABBREVIATIONS

ANGLE	CNTR.	COUNTER	F.O.F.	FACE OF FINISH	L.L.	LEAD-LINED	PTN.	PARTITION	T.C.	TOP OF CURB
AT	CTR.	CENTER	F.O.G.B.	FACE OF GYP. BASE	L.P.	LOW POINT OR LIGHT POOF	P.T.D.R.	PAPER TOWEL DISP. & RECEPT.	T.C.V.P.	THIN COAT OF VENER PLASTER
CENTER LINE			F.O.S.	FACE OF STUD	LT. STD.	LIGHT STANDARD	P.T.R.	PAPER TOWEL RECEPTACLE	TD	TRENCH DRAIN
PERPENDICULAR			F.O.W.	FACE OF WALL	LT. WT.	LIGHT WEIGHT	PUB.	PUBLIC	TEL	TELEPHONE
PLATE			F.S.	FLOOR SINK	F.S.	FLOOR SINK			TEMP.	TEMPERED OR TEMPERATURE
			FT.	FOOT OR FEET	FTG.	FOOTING			TERM.	TERMINAL
			FUR.	FURRING	FUT.	FUTURE			TERR.	TERRAZZO
									T. & G.	TONGUE & GROOVE
									THK.	THICK
									THRES.	THRESHOLD
									THRU	THROUGH
									T.O.B.	TOP OF BEAM
									T.O.M.	TOP OF MASONRY
									T.O.C.	TOP OF CONCRETE
									T.O.S.	TOP OF STEEL
									T.P.	TOP OF PAVING
									T.P.D.	TOILET PAPER DISPENSER
									TRANS.	TRANSFORMER
									TREAT.	TREATMENT
									T.O.W.	TOP OF WALL
									TYP.	TYPICAL
									T.J.	TOOLED JOINT
									UNFIN.	UNFINISHED
									U.O.N.	UNLESS OTHERWISE NOTED
									UR.	URNAL
									UTIL.	UTILITY

DBL.	DOUBLE	E.	EAST	I.D.	INSIDE DIAMETER	L.D.	INSIDE DIAMETER	N.	NORTH	S.	SOUTH
DET.	DETAIL	E.A.	EACH	INFO.	INFORMATION	INSUL.	INSULATION	NAT.	NATURAL	S.C.	SOLID CORE
D.F.	DRINKING FOUNTAIN	E.G.	EDGE GUARD	INT.	INTERIOR	INSUL.	INSULATION	N.I.C.	NOT IN CONTRACT	S.C.D.	SCHEDULE
D. HIR	DIAMETER	E.I.F.S.	EXT. INSULATED FINISH SYSTEM	INT.	INTERIOR	INT.	INTERIOR	NOM.	NOMINAL	S.D.	SECRETARY
DN.	DOWN	E.L.	ELEVATION	INT.	INTERIOR	INT.	INTERIOR	N.T.S.	NOT TO SCALE	SEC.	SECTION
D.O.D.	DOOR OPENING DIMENSION	ELEC.	ELECTRICAL	INT.	INTERIOR	INT.	INTERIOR	O.A.	OVER ALL	SEP.	SEPARATION OR SEPARATE
DR.	DOOR	ELEV.	ELEVATOR	INT.	INTERIOR	INT.	INTERIOR	O.D.	ON CENTER	SERV.	SERVICE
DRW.	DRAWER	EMERG.	EMERGENCY	INT.	INTERIOR	INT.	INTERIOR	O.F.	OUTSIDE FACE	S.H.	SHOWER
DS	DOWNSPOUT	ENCL.	ENCLOSURE	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
D.S.P.	DRY STAND PIPE	ENTR.	ENTRANCE	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
D.T.	DRAPERY TRACK	EQ.	EQUAL	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
DWG	DRAWING	E.Q.	EQUIPMENT	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
		E.W.C.	ELECTRIC WATER COOLER	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
		EXP.	EXISTING	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
		EXT.	EXPOSED	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
			EXTERIOR	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET

GA.	GAUGE	H.B.	HOSE BIBB	I.D.	INSIDE DIAMETER	L.D.	INSIDE DIAMETER	N.	NORTH	S.	SOUTH
GALV.	GALVANIZED	H.C.	HOLLOW CORE	INFO.	INFORMATION	INSUL.	INSULATION	NAT.	NATURAL	S.C.	SOLID CORE
G.B.	GRAB BAR	H.D.	HEAD	INT.	INTERIOR	INT.	INTERIOR	N.I.C.	NOT IN CONTRACT	S.C.D.	SCHEDULE
G.C.	GENERAL CONTRACTOR	HDCP	HANDICAP	INT.	INTERIOR	INT.	INTERIOR	NOM.	NOMINAL	S.D.	SECRETARY
GEN.	GENERAL	H.D.W.	HANDRAIL	INT.	INTERIOR	INT.	INTERIOR	N.T.S.	NOT TO SCALE	SEC.	SECTION
G.I.	GALVANIZED IRON	H.M.	HOLLOW METAL	INT.	INTERIOR	INT.	INTERIOR	O.A.	OVER ALL	SEP.	SEPARATION OR SEPARATE
GL.	GLASS OR (GLAZED)	H.NDR.	HANDRAIL	INT.	INTERIOR	INT.	INTERIOR	O.D.	ON CENTER	SERV.	SERVICE
GLB.	GLU-LAM BEAM	HGT.	HEIGHT	INT.	INTERIOR	INT.	INTERIOR	O.F.	OUTSIDE FACE	S.H.	SHOWER
GLU	GLUE	HORIZ.	HORIZONTAL	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
GRD.	GRADE	HOLD	HOLD OPEN	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
GRND.	GROUND	HOUR	HOUR	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
GYP.	GYPSON	HWDH	HARDWARE	INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
GWB	GYPSON WALL BOARD			INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET

MACH.	MACHINE	H.M.	HOLLOW METAL	I.D.	INSIDE DIAMETER	L.D.	INSIDE DIAMETER	N.	NORTH	S.	SOUTH
MATL.	MATERIAL	H.NDR.	HANDRAIL	INFO.	INFORMATION	INSUL.	INSULATION	NAT.	NATURAL	S.C.	SOLID CORE
MECH.	MECHANICAL	HGT.	HEIGHT	INT.	INTERIOR	INT.	INTERIOR	N.I.C.	NOT IN CONTRACT	S.C.D.	SCHEDULE
MEMB.	MEMBRANE	HORIZ.	HORIZONTAL	INT.	INTERIOR	INT.	INTERIOR	NOM.	NOMINAL	S.D.	SECRETARY
MET.	METAL	HOLD	HOLD OPEN	INT.	INTERIOR	INT.	INTERIOR	N.T.S.	NOT TO SCALE	SEC.	SECTION
MFR.	MANUFACTURER	HOUR	HOUR	INT.	INTERIOR	INT.	INTERIOR	O.A.	OVER ALL	SEP.	SEPARATION OR SEPARATE
MANH.	MANHOLE	HWDH	HARDWARE	INT.	INTERIOR	INT.	INTERIOR	O.D.	ON CENTER	SERV.	SERVICE
MIN.	MINIMUM			INT.	INTERIOR	INT.	INTERIOR	O.F.	OUTSIDE FACE	S.H.	SHOWER
MIR.	MIRROR			INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
MISC.	MISCELLANEOUS			INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
M.J.	MASONRY JOINT			INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
M.L. & P.	METAL LATH & PLASTER			INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
M.O.	MASONRY OPENING			INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
MOS. T.	MOSAIC TILE			INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
MTD.	MOUNTED			INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET
MUL.	MULLION			INT.	INTERIOR	INT.	INTERIOR	O.F.	OWNER FURNISHED	SHT.	SHEET

N.	NORTH	S.	SOUTH	S.C.	SOLID CORE	S.C.D.	SCHEDULE	S.D.	SECRETARY	SEC.	SECTION
NAT.	NATURAL	S.N.R.	SANITARY NAPKIN DISPENSER	S.O.H.	SAME AT OPPOSITE HAND	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
N.I.C.	NOT IN CONTRACT	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
NOM.	NOMINAL	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
N.T.S.	NOT TO SCALE	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
O.A.	OVER ALL	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
O.D.	ON CENTER	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
O.F.	OUTSIDE FACE	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
O.F.	OWNER FURNISHED	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
O.F.	OWNER FURNISHED	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
O.F.	OWNER FURNISHED	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER
O.F.	OWNER FURNISHED	S.S.	STAINLESS STEEL	S.P.	SPECIAL	S.P.	SPECIAL	SPEC.	SPECIFICATION	SPKR.	SPEAKER

T.C.	TOP OF CURB	T.C.V.P.	THIN COAT OF VENER PLASTER	V.C.T.	VINYL COMPOSITE TILE	VERT.	VERTICAL	VEST.	VESTIBULE	VERT.	VERTICAL
T.D.	TRENCH DRAIN	T.O.B.	TOP OF BEAM	VERT.	VERTICAL	VEST.	VESTIBULE	VERT.	VERTICAL	VEST.	VESTIBULE
TEL	TELEPHONE	T.O.C.	TOP OF CONCRETE	VOL.	VOLUME	VOL.	VOLUME	VOL.	VOLUME	VOL.	VOLUME
TEMP.	TEMPERED OR TEMPERATURE	T.O.S.	TOP OF STEEL	V.P.	VENER PLASTER	V.P.	VENER PLASTER	V.P.	VENER PLASTER	V.P.	VENER PLASTER
TERM.	TERMINAL	T.P.	TOP OF PAVING	W.	WEST	W.	WITH	W.	WITH	W.	WITH
TERR.	TERRAZZO	T.P.D.	TOILET PAPER DISPENSER	W.C.	WATER CLOSET	W.C.	WATER CLOSET	W.C.	WATER CLOSET	W.C.	WATER CLOSET
T. & G.	TONGUE & GROOVE	T.P.D.	TOILET PAPER DISPENSER	W.D.	WOOD	W.D.	WOOD	W.D.	WOOD	W.D.	WOOD
THK.	THICK	T.P.D.	TOILET PAPER DISPENSER	W.D.W.	WINDOW	W.D.W.	WINDOW	W.D.W.	WINDOW	W.D.W.	WINDOW
THRES.	THRESHOLD	T.P.D.	TOILET PAPER DISPENSER	W.H.	WATER HEATER	W.H.	WATER HEATER	W.H.	WATER HEATER	W.H.	WATER HEATER
THRU	THROUGH	T.P.D.	TOILET PAPER DISPENSER	W.O.	WHERE OCCURS	W.O.	WHERE OCCURS	W.O.	WHERE OCCURS	W.O.	WHERE OCCURS
T.O.B.	TOP OF BEAM	T.P.D.	TOILET PAPER DISPENSER	W/O	WITHOUT	W/O	WITHOUT	W/O	WITHOUT	W/O	WITHOUT
T.O.M.	TOP OF MASONRY	T.P.D.	TOILET PAPER DISPENSER	W.P.	WEATHERPROOF	W.P.	WEATHERPROOF	W.P.	WEATHERPROOF	W.P.	WEATHERPROOF
T.O.C.	TOP OF CONCRETE	T.P.D.	TOILET PAPER DISPENSER	W.S.	WEATHERSTRIPPING	W.S.	WEATHERSTRIPPING	W.S.	WEATHERSTRIPPING	W.S.	WEATHERSTRIPPING
T.O.S.	TOP OF STEEL	T.P.D.	TOILET PAPER DISPENSER	W.S.C.	WAINSCOT	W.S.C.	WAINSCOT	W.S.C.	WAINSCOT	W.S.C.	WAINSCOT
T.P.	TOP OF PAVING	T.P.D.	TOILET PAPER DISPENSER	WT.	WEIGHT	WT.	WEIGHT	WT.	WEIGHT	WT.	WEIGHT
T.P.D.	TOILET PAPER DISPENSER	T.P.D.	TOILET PAPER DISPENSER								
TRANS.	TRANSFORMER	T.P.D.	TOILET PAPER DISPENSER								
TREAT.	TREATMENT	T.P.D.	TOILET PAPER DISPENSER								
T.O.W.	TOP OF WALL	T.P.D.	TOILET PAPER DISPENSER								
TYP.	TYPICAL	T.P.D.	TOILET PAPER DISPENSER								
T.J.	TOOLED JOINT	T.P.D.	TOILET PAPER DISPENSER								
UNFIN.	UNFINISHED	T.P.D.	TOILET PAPER DISPENSER								
U.O.N.	UNLESS OTHERWISE NOTED	T.P.D.	TOILET PAPER DISPENSER								
UR.	URNAL	T.P.D.	TOILET PAPER DISPENSER								
UTIL.	UTILITY	T.P.D.	TOILET PAPER DISPENSER								

LANDSCAPE

- L1.1 PARTIAL PLANTING PLAN
L1.2 PARTIAL PLANTING PLAN
L2.1 PARTIAL IRRIGATION PLAN
L2.2 PARTIAL IRRIGATION PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

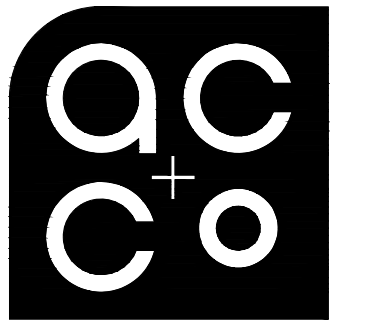
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JOB NO. 2015.0060

DATE JULY 27, 2016

DRAWN MLH

REVISIONS



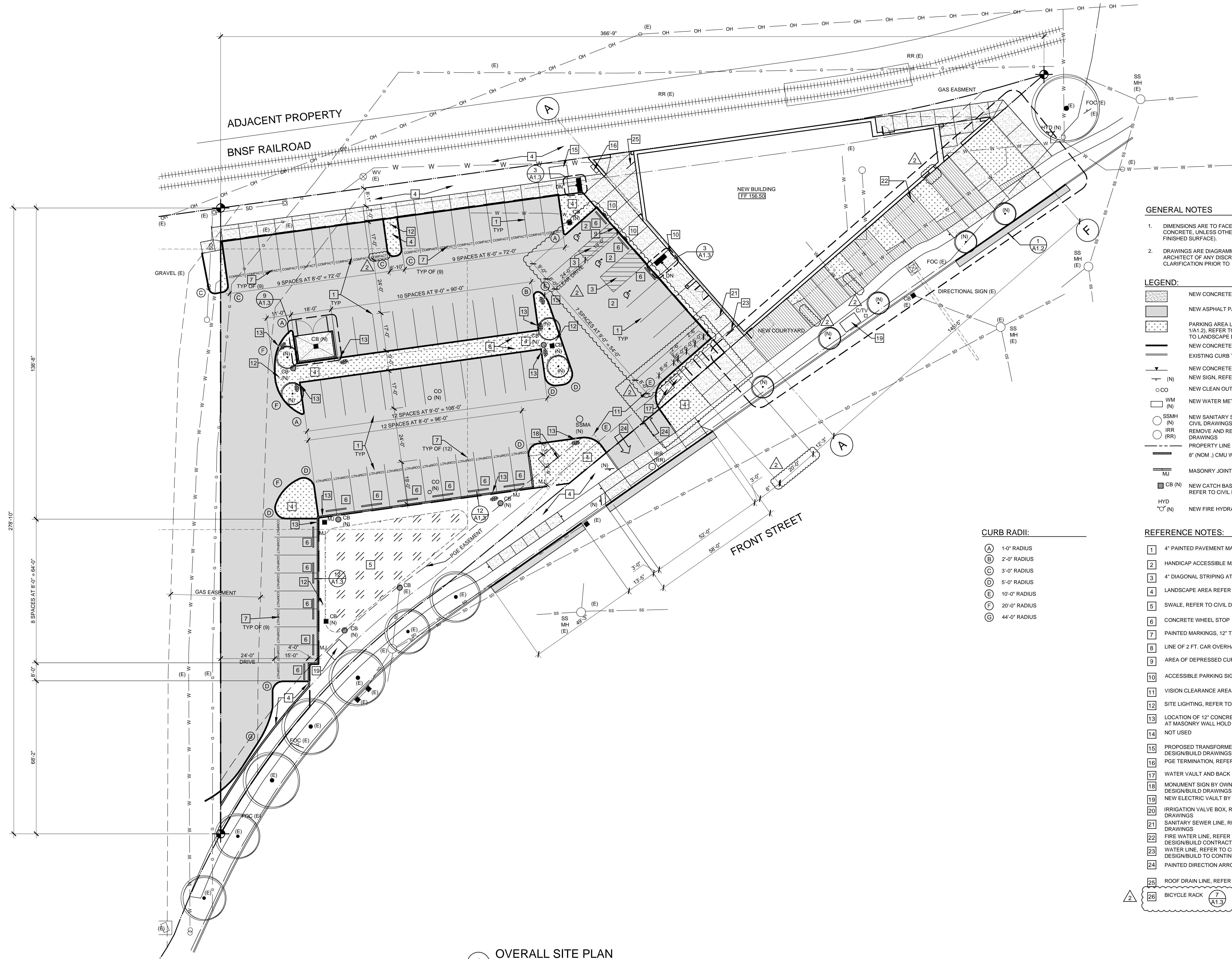
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A0.1



1 OVERALL SITE PLAN
SCALE: 20'=1'-0"

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF STUDS, FACE OF MASONRY AND FACE OF CONCRETE, UNLESS OTHERWISE NOTED. ("CLEAR" DIMENSION IS TO FACE OF FINISHED SURFACE).
- DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS FOR CLARIFICATION PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.

LEGEND:

- NEW CONCRETE PAVEMENT, REFER TO CIVIL DRAWINGS
- NEW ASPHALT PAVING, REFER TO CIVIL DRAWINGS
- PARKING AREA LANDSCAPING (NOT INCLUDING AREA WITHIN 1/4" 1/2"). REFER TO ZONING CODE ANALYSIS FOR AREA, REFER TO LANDSCAPE DRAWINGS
- NEW CONCRETE CURB, REFER TO CIVIL DRAWINGS AND 5 A1.3
- EXISTING CURB TO REMAIN, REFER TO CIVIL DRAWINGS AND 4 A1.3
- NEW CONCRETE EXPANSION JOINT, REFER TO CIVIL DRAWINGS
- NEW SIGN, REFER TO CIVIL DRAWINGS
- NEW CLEAN OUT, REFER TO CIVIL DRAWINGS
- NEW WATER METER, (E) DESIGNATES EXISTING TO REMAIN
- NEW SANITARY SEWER MAN HOLE TO REMAIN, REFER TO CIVIL DRAWINGS. (E) DESIGNATES EXISTING TO REMAIN
- REMOVE AND RELOCATE IRRIGATION, REFER TO CIVIL DRAWINGS
- PROPERTY LINE
- 8" (NOM.) CMU WALL
- MASONRY JOINT, REFER TO 6 A1.3
- NEW CATCH BASIN, (E) DESIGNATES EXISTING TO REMAIN, REFER TO CIVIL DRAWINGS
- NEW FIRE HYDRANT, REFER TO CIVIL DRAWINGS

CURB RADII:

- A 1'-0" RADIUS
- B 2'-0" RADIUS
- C 3'-0" RADIUS
- D 5'-0" RADIUS
- E 10'-0" RADIUS
- F 20'-0" RADIUS
- G 44'-0" RADIUS

REFERENCE NOTES:

- 1 4" PAINTED PAVEMENT MARKINGS
- 2 HANDICAP ACCESSIBLE MARKINGS 1 A1.3
- 3 4" DIAGONAL STRIPING AT 12" o.c.
- 4 LANDSCAPE AREA REFER TO LANDSCAPE DESIGN/BUILD DRAWINGS
- 5 SWALE, REFER TO CIVIL DRAWINGS
- 6 CONCRETE WHEEL STOP 8 A1.3
- 7 PAINTED MARKINGS, 12" TALL, TO READ AS 'COMPACT PARKING ONLY'
- 8 LINE OF 2 FT. CAR OVERHANG, LANDSCAPING THIS AREA TO BE LOW
- 9 AREA OF DEPRESSED CURB 6 A1.3
- 10 ACCESSIBLE PARKING SIGN 2 A1.3
- 11 VISION CLEARANCE AREA
- 12 SITE LIGHTING, REFER TO ELECTRICAL DESIGN/BUILD DRAWINGS
- 13 LOCATION OF 12" CONCRETE CURB CUT, REFER TO CIVIL DRAWINGS, AT MASONRY WALL HOLD OPEN (1) UNIT
- 14 NOT USED
- 15 PROPOSED TRANSFORMER LOCATION, REFER TO ELECTRICAL DESIGN/BUILD DRAWINGS
- 16 PGE TERMINATION, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
- 17 WATER VAULT AND BACK FLOW, REFER TO CIVIL DRAWINGS
- 18 MONUMENT SIGN BY OWNER, PROVIDE POWER BY ELECTRICAL DESIGN/BUILD DRAWINGS
- 19 NEW ELECTRIC VAULT BY PGE, REFER TO CIVIL DRAWINGS
- 20 IRRIGATION VALVE BOX, REMOVE AND RELOCATE, REFER TO CIVIL DRAWINGS
- 21 SANITARY SEWER LINE, REFER TO PLUMBING DESIGN/BUILD DRAWINGS
- 22 FIRE WATER LINE, REFER TO CIVIL FOR CONTINUATION, PLUMBING DESIGN/BUILD CONTRACTOR TO PROVIDE BACKFLOW PREVENTION
- 23 WATER LINE, REFER TO CIVIL FOR CONTINUATION, PLUMBING DESIGN/BUILD TO CONTINUE INTO BUILDING
- 24 PAINTED DIRECTION ARROW 10 A1.3
- 25 ROOF DRAIN LINE, REFER TO CIVIL FOR CONTINUATION
- 26 BICYCLE RACK 7 A1.3



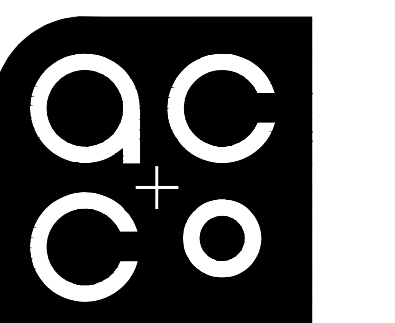
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JOB NO. 2015.0060

DATE AUG 17, 2016

DRAWN MLH

REVISIONS
REVISIONS: 09-02-16
PLAN REVIEW: 09-12-16



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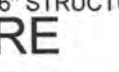
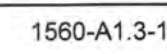
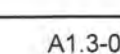
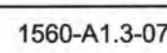
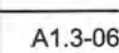
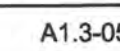
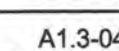
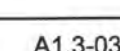
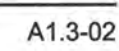
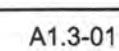
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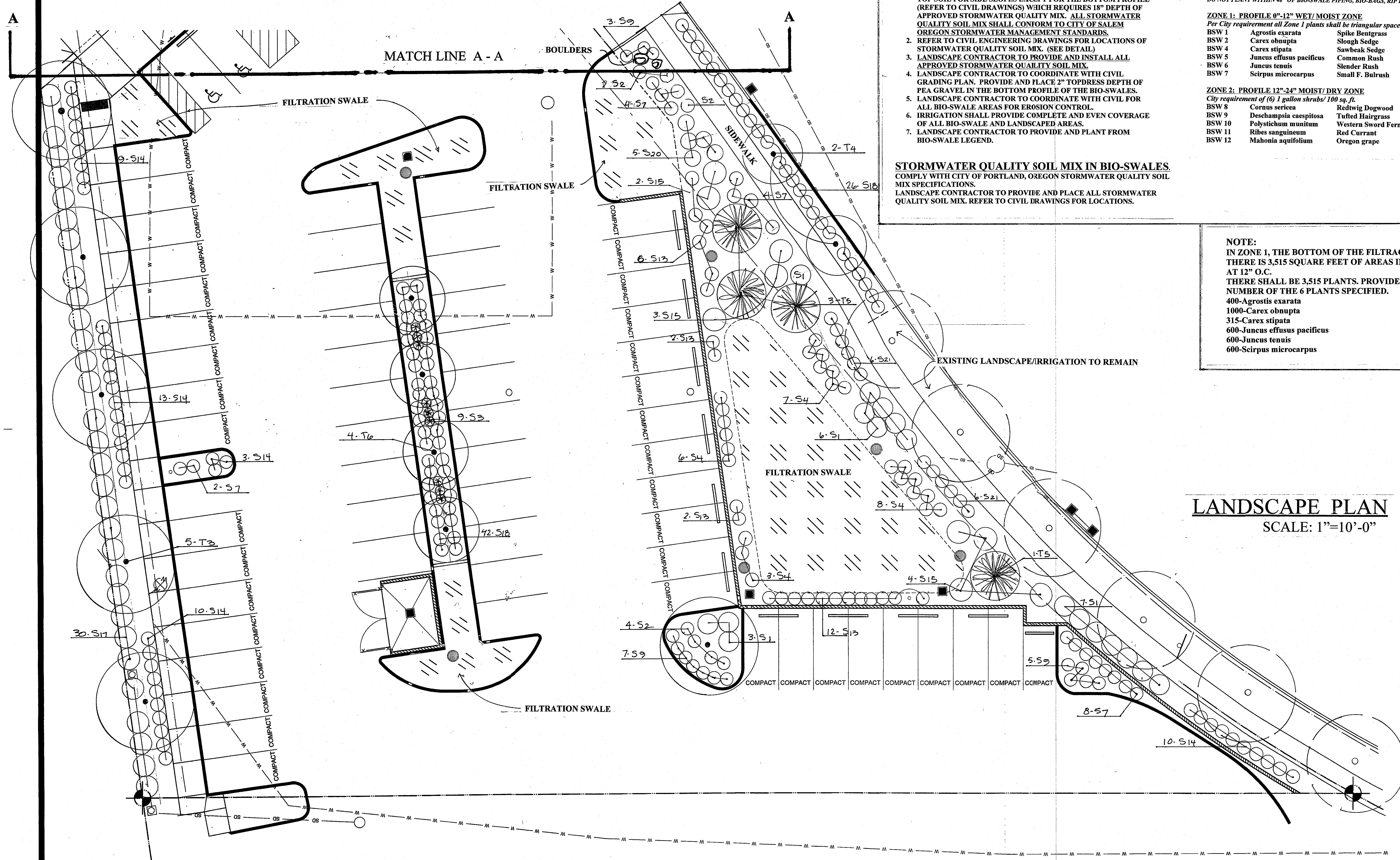
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A1.1

A1.2





BIO-SWALE NOTES:

- BIO-SWALES SHALL UTILIZE APPROVED IMPORTED 70/30 BLEND TOP SOIL FOR SIDE SLOPES EXCEPT FOR THE BOTTOM PROFILE (REFER TO CIVIL DRAWINGS) WHICH REQUIRES 18" DEPTH OF APPROVED STORMWATER QUALITY MIX. ALL STORMWATER QUALITY SOIL MIX SHALL CONFORM TO CITY OF SALEM OREGON STORMWATER MANAGEMENT STANDARDS.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR LOCATIONS OF STORMWATER QUALITY SOIL MIX. (SEE DETAIL.)
- LANDSCAPE CONTRACTOR TO PROVIDE AND INSTALL ALL APPROVED STORMWATER QUALITY SOIL MIX.
- LANDSCAPE CONTRACTOR TO COORDINATE WITH CIVIL GRADING PLAN. PROVIDE AND PLACE 2" TOPDRESS DEPTH OF PEA GRAVEL IN THE BOTTOM PROFILE OF THE BIO-SWALES.
- LANDSCAPE CONTRACTOR TO COORDINATE WITH CIVIL FOR ALL BIO-SWALE AREAS FOR EROSION CONTROL.
- IRRIGATION SHALL PROVIDE COMPLETE AND EVEN COVERAGE OF ALL BIO-SWALE AND LANDSCAPED AREAS.
- LANDSCAPE CONTRACTOR TO PROVIDE AND PLANT FROM BIO-SWALE LEGEND.

STORMWATER QUALITY SOIL MIX IN BIO-SWALES.
COMPLY WITH CITY OF PORTLAND, OREGON STORMWATER QUALITY SOIL MIX SPECIFICATIONS.
LANDSCAPE CONTRACTOR TO PROVIDE AND PLACE ALL STORMWATER QUALITY SOIL MIX. REFER TO CIVIL DRAWINGS FOR LOCATIONS.

BIO-SWALE PLANT LEGEND

REVISED: 3-24-2016

BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DO NOT PLANT WITHIN 48" OF BIO-SWALE PIPING, BIO-BAGS, RIP RAP OR OTHER PLANT MATERIAL			

ZONE 1: PROFILE 0"-12" WET/MOIST ZONE
Per City requirement all Zone 1 plants shall be triangular spaced 12" o.c.:

BSW 1	Agrostis exarata	Spike Bentgrass	1 gal. 12" O.C.
BSW 2	Carex obnupta	Slough Sedge	1 gal. 12" O.C.
BSW 4	Carex stipata	Sawbeak Sedge	1 gal. 12" O.C.
BSW 5	Juncus effusus pacificus	Common Rush	1 gal. 12" O.C.
BSW 6	Juncus tenuis	Slender Rush	1 gal. 12" O.C.
BSW 7	Scirpus microcarpus	Small F. Bulrush	1 gal. 12" O.C.

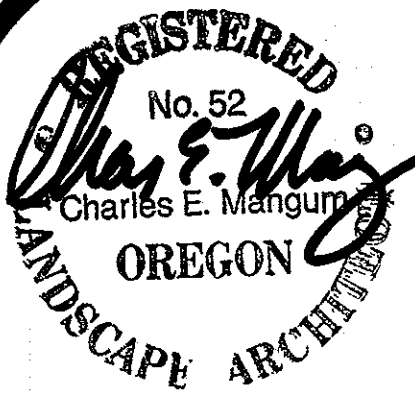
ZONE 2: PROFILE 12"-24" MOIST/DRY ZONE
City requirement of (6) 1 gallon shrubs/ 100 sq. ft.

BSW 8	Cornus sericea	Redtwig Dogwood	1 gal.
BSW 9	Deschampsia caespitosa	Tufted Hairgrass	1 gal.
BSW 10	Polystichum munifum	Western Sword Fern	1 gal.
BSW 11	Ribes sanguineum	Red Currant	1 gal.
BSW 12	Mahonia aquifolium	Oregon grape	1 gal.

NOTE:
IN ZONE 1, THE BOTTOM OF THE FILTRATION SWALE, THERE IS 3,515 SQUARE FEET OF AREAS IN THE FIVE SWALES. AT 12" O.C. THERE SHALL BE 3,515 PLANTS. PROVIDE THE FOLLOWING NUMBER OF THE 6 PLANTS SPECIFIED.
400-Agrostis exarata
1000-Carex obnupta
315-Carex stipata
600-Juncus effusus pacificus
600-Juncus tenuis
600-Scirpus microcarpus

LANDSCAPE PLAN

SCALE: 1"=10'-0"



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DATE JULY 27, 2016
DESIGN: CEM
DRAWN: CEM
DATE: 8-1-2016
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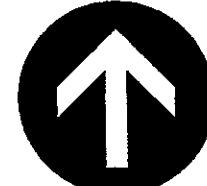
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1 PARTIAL SITE PLAN (SOUTH)
SCALE: 10"=1'-0"

L1.2

NOTE: BACK FLOW DEVICE LOCATION-VERIFY LOCATION-

VERIFY EXACT LOCATION OF OUTDOOR IRRIGATION CONTROLLER

LIMIT OF WORK

LIMIT OF WORK

NOTE:
ALL IRRIGATION SLEEVES BY EXCAVATION CONTRACTOR.

IRRIGATION LEGEND

- ▼ RAIN BIRD 1806 -8" POP-UP SPRINKLER. NOZZLE TYPE: F, H, ADJ., Q
- ▽ RAIN BIRD 1806 -10" POP-UP SPRINKLER. NOZZLE TYPE: F, H, ADJ., Q
- ▽ RAIN BIRD 1806 -12" POP-UP SPRINKLER. NOZZLE TYPE: F, H, ADJ., Q
- RAIN BIRD R-5000 ROTOR. NOZZLE TYPE: 2 G.P.M. ADJUSTABLE
- RAIN BIRD PEB ELECTRIC CONTROL VALVE. (1" = 5-24 G.P.M.)
- RAIN BIRD DRIP KIT. SIZE 1".
ALL DRIP PIPE TO PROVIDE 2 G.P.H. TO EACH SHRUB AND 4 G.P.H. TO EACH TREE WHERE SHOWN. FEED ALL DRIP PIPE WITH CLASS 200 3/4" P.V.C. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRIP FITTINGS NECESSARY TO MAKE ZONE OPERATIONAL.
- RAIN BIRD LX MOD OUTDOOR IRRIGATION CONTROLLER
ELECTRICAL CONTRACTOR TO HARD WIRE -
LANDSCAPE CONTRACTOR TO PLACE ON P.T. 6" X 6" POST 36" ABOVE FINISH GRADE
- MAIN LINE SIZE: 2" CLASS 200 P.V.C.
— LATERAL PIPE: CLASS 200 P.V.C. (SEE PLAN)
- WILKENS SERIES 1" BACK FLOW DEVICE-BY LANDSCAPE CONTRACTOR
- 3/4" MANUAL DRAIN. INSTALL AT LOW POINTS OF IRRIGATION MAIN LINE FOR WINTERIZING SYSTEM.

- NOTE:
1. STUB ONE ADDITIONAL WIRE FROM CONTROLLER TO FARTHEST VALVE IN EACH DIRECTION. USE DIFFERENT COLOR WIRE THAN VALVE OR COMMON WIRE.
 2. ALL PIPE TO BE MANUALLY DRAINED PRIOR TO FREEZING TEMPERATURES, OR APPROXIMATELY OCTOBER 15TH OF EACH YEAR.
 3. SPRINKLER HEADS AND DRIP PIPE ARE DIAGRAMATIC. ADJUST HEADS, NOZZLE SIZES, DRIP LOCATIONS FOR OPTIMUM COVERAGE. DO NOT SPRAY THE BUILDING, SIDEWALKS, CARS, OR PARKING LOTS.
 4. COORDINATE ALL SLEEVE LOCATIONS AND INSTALLATION WITH GENERAL CONTRACTOR.
 5. SET CONTROLLER TO THE APPROPRIATE RUN TIME TO PROVIDE ADEQUATE WATER FOR OPTIMAL PLANT GROWTH.

VALVE LEGEND

VALVE	GPM	TYPE/LOCATION
1	11	LANDSCAPE BED
2	23	LANDSCAPE BED
3	22	LANDSCAPE BED
4	24	LANDSCAPE BED FUTURE
5	18	FILTRATION AREA
6	18	LANDSCAPE BED
7	5	(DRIP) LANDSCAPE BED
8	22	LANDSCAPE BED
9	10	LANDSCAPE BED
10	20	LANDSCAPE BED

IRRIGATION NOTES

1. INSTALLATION OF IRRIGATION SYSTEM SHALL CONFORM TO ALL LOCAL CODES.
2. ALL CONTROLL WIRE SHALL BE #14 AWG SOLID COPPER.
3. PROVIDE, INSTALL, AND TEST BACKFLOW DEVICE AS PER STATE OF OREGON.
4. ALL CONTROLL WIRE SPICES SHALL BE MADE USING DBY-TYPE CONNECTORS.
5. THE LANDSCAPE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING THE LOCATIONS OF ALL INSTALLATIONS THAT DEVIATE FROM THE PLAN. THE DRAWING SHALL LOCATE ALL MAIN LINES, VALVES, AND DRAINS BY SHOWING THE EXACT MEASUREMENTS FROM HARD SURFACES.
6. VERIFICATION OF UNDERGROUND UTILITIES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK.
7. VERIFY MINIMUM OF 39G.P.M. AND 55 P.S.I. AT WATER METER PRIOR TO BEGINNING OF ANY WORK. THE LARGEST ZONE IS 24 G.P.M.
8. THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO ANY WORK AND NOTIFY THE OWNER IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE.
9. MAKE FIELD ADJUSTMENTS AS REQUIRED. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS PER DRAWING WHEN IT IS OBVIOUS IN THE FIELD THAT THE CONDITIONS VARY FROM THE DRAWING.
10. SPRINKLER HEAD LOCATIONS ARE DIAGRAMATIC. HEADS SHALL BE PLACED TO PROVIDE COMPLETE EVEN COVERAGE OF ALL LANDSCAPE AREAS AS SHOWN.
11. ADJUST ALL NOZZLES SO THAT THEY DO NOT SPRAY ON BUILDING WALLS OR WINDOWS.
12. PROVIDE BEDDING MATERIAL FOR ALL PIPE AND WIRE WHEN ROCKS ARE PRESENT.
13. VERIFY, AND COORDINATE SLEEVE INSTALLATIONS AT LOCATIONS WITH PAVING CONTRACTOR PRIOR TO PAVING.
14. ALL VALVES SHALL BE LOCATED IN VALVE BOXES. USE AMETEK, OR APPROVED EQUAL APPROPRIATE SIZE.
15. DRAINAGE AND WINTERIZATION- PROVIDE MANUAL DRAIN VALVES AT LOW POINTS OF MAIN LINE FOR WINTERIZATION.

IRRIGATION PLAN

SCALE: 1"=10'-0"

MATCH LINE A - A

DESIGN: CEM
DRAWN: SAT
DATE: 8-1-2106

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JOB NO 2015.0060

DATE JULY 27, 2016

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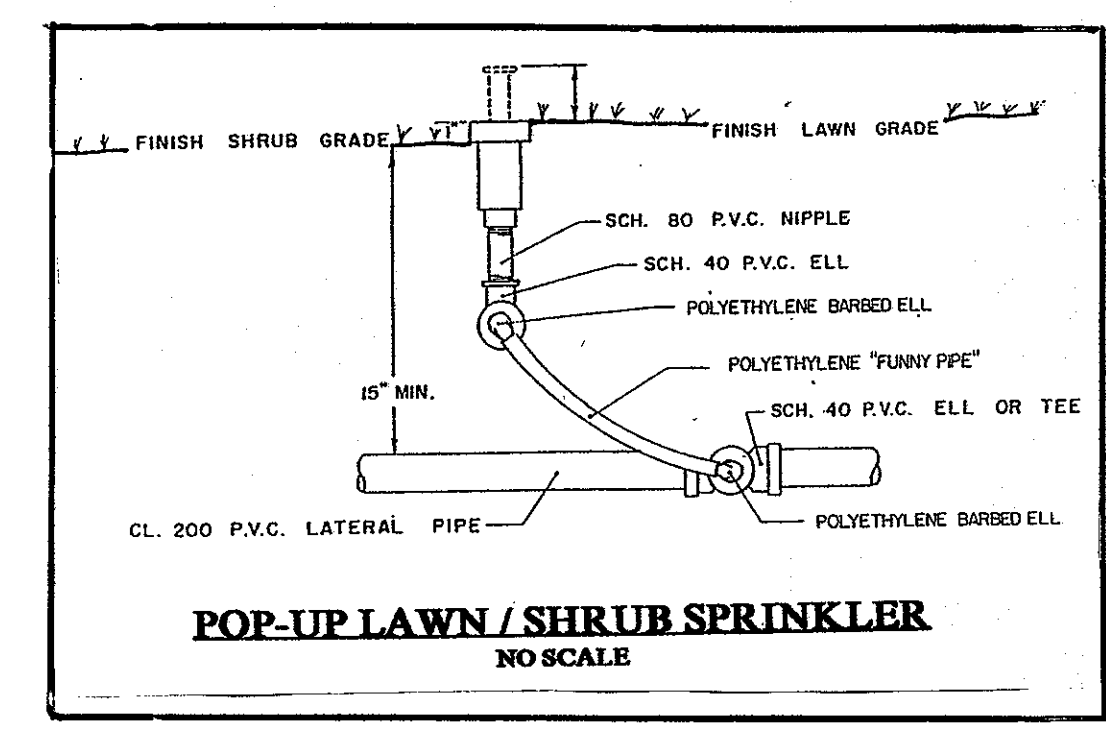
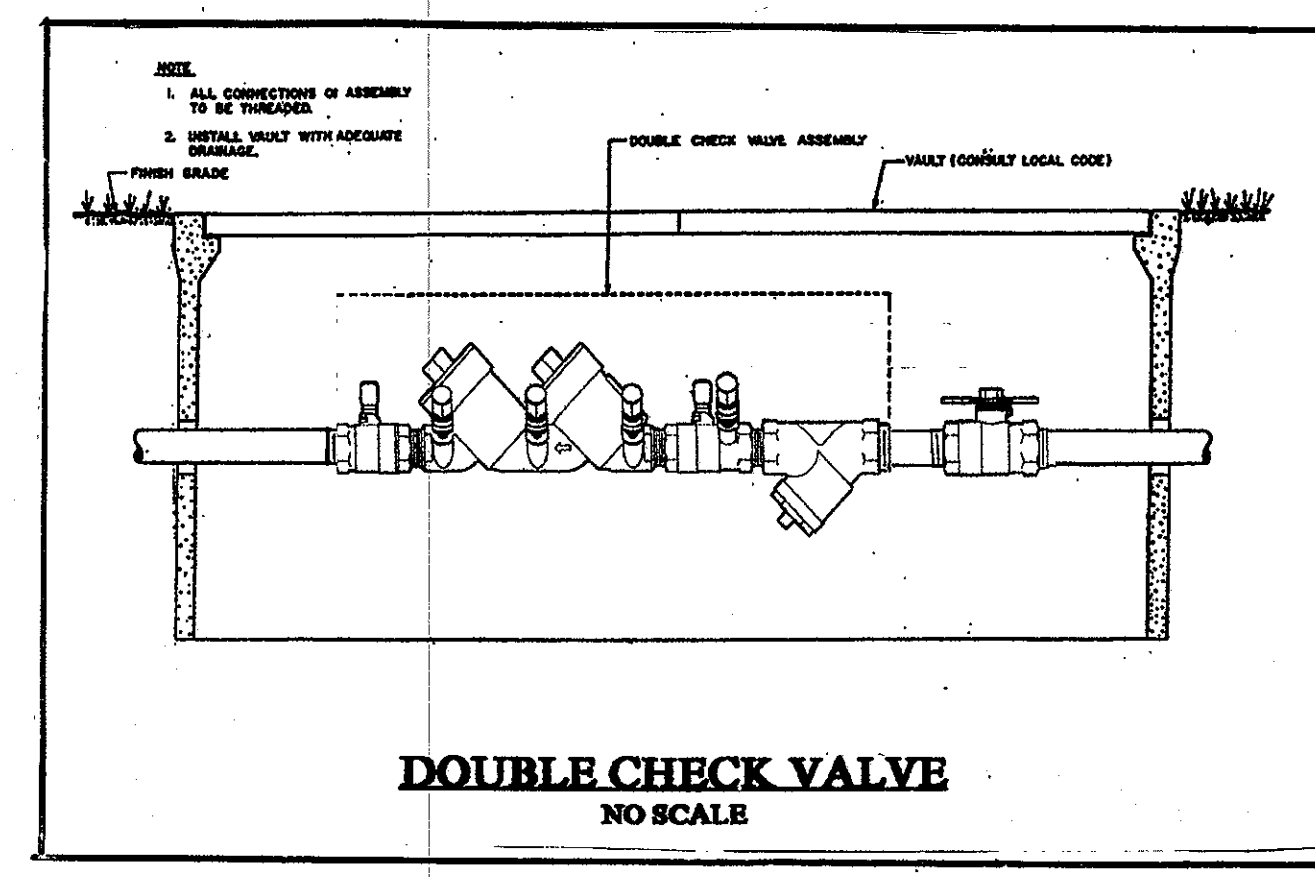
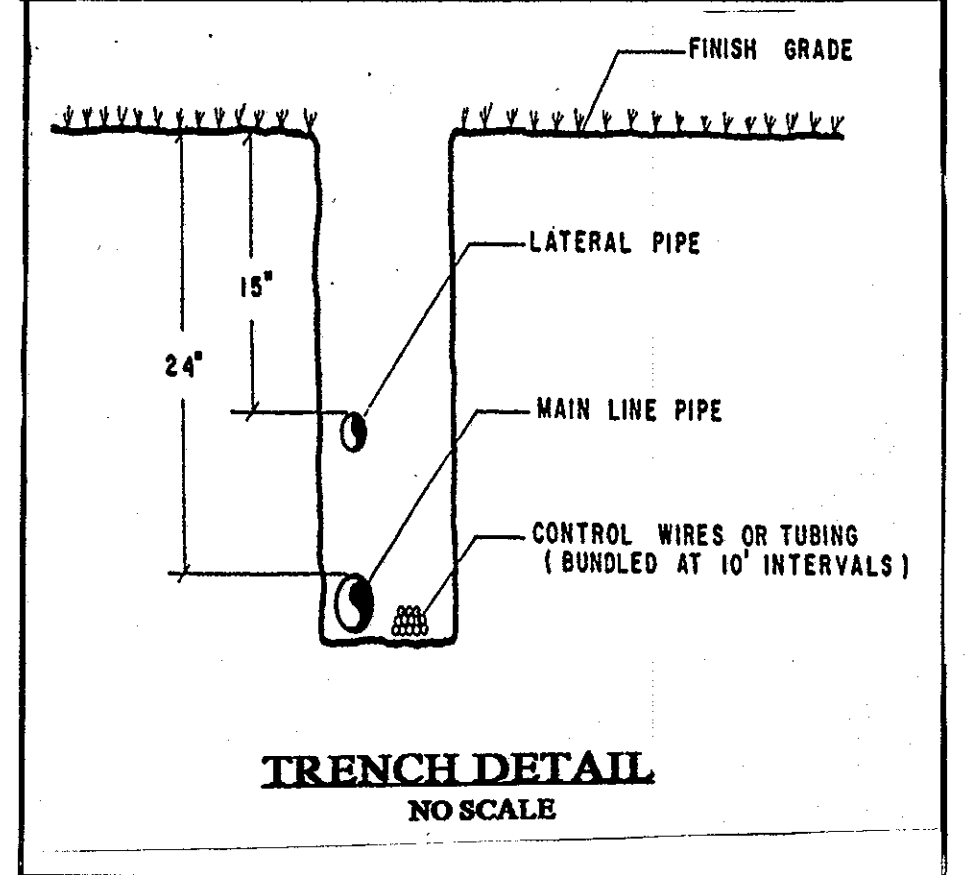
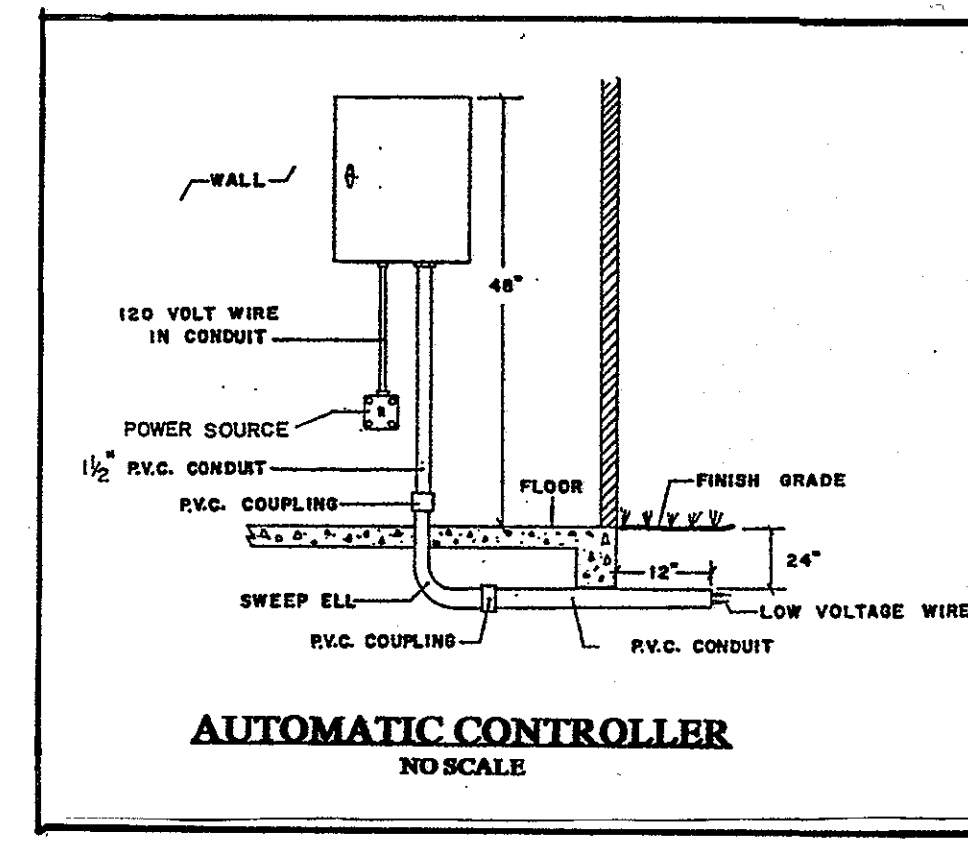
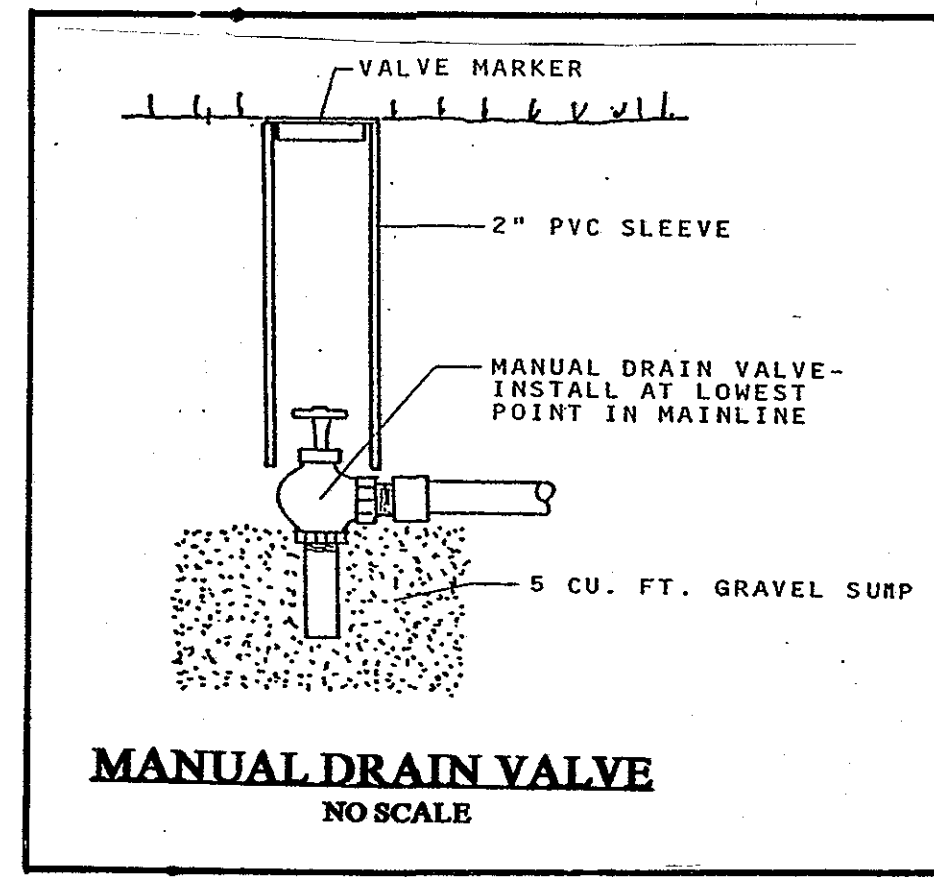
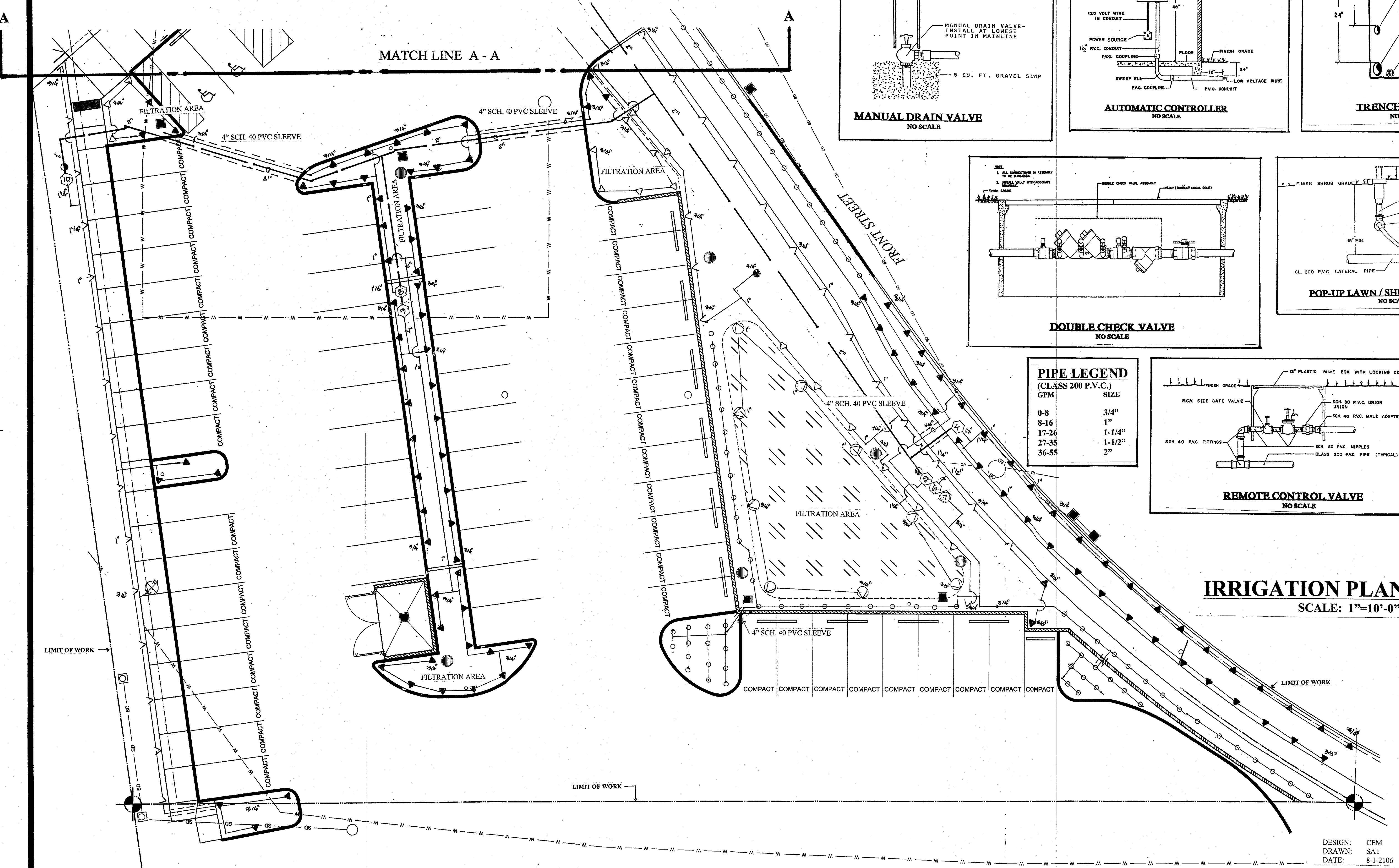
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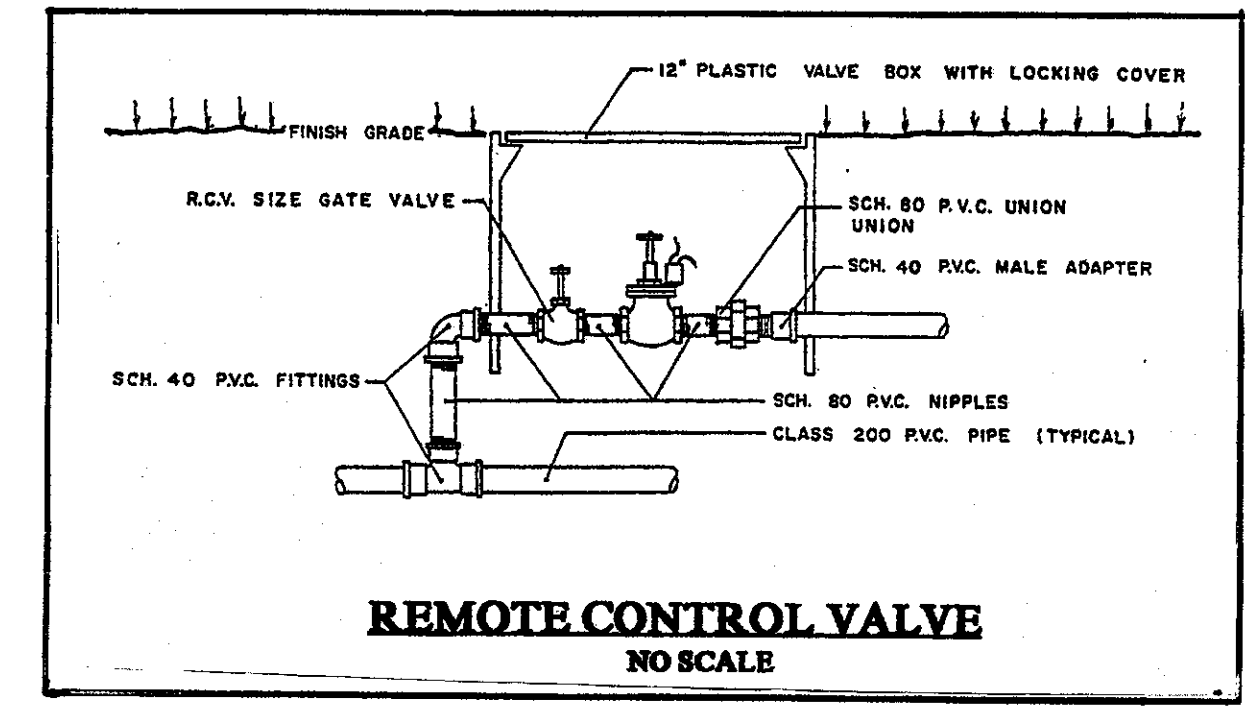
1 PARTIAL SITE PLAN (NORTH)

SCALE: 10"=1'-0"



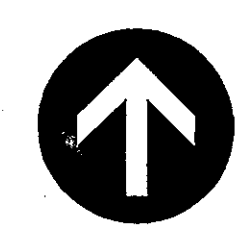
PIPE LEGEND
(CLASS 200 P.V.C.)

GPM	SIZE
0-8	3/4"
8-16	1"
17-26	1-1/4"
27-35	1-1/2"
36-55	2"



IRRIGATION PLAN SCALE: 1"=10'-0"

1 PARTIAL SITE PLAN (SOUTH)
SCALE: 10"=1'-0"



DESIGN: CEM
DRAWN: SAT
DATE: 8-1-2106

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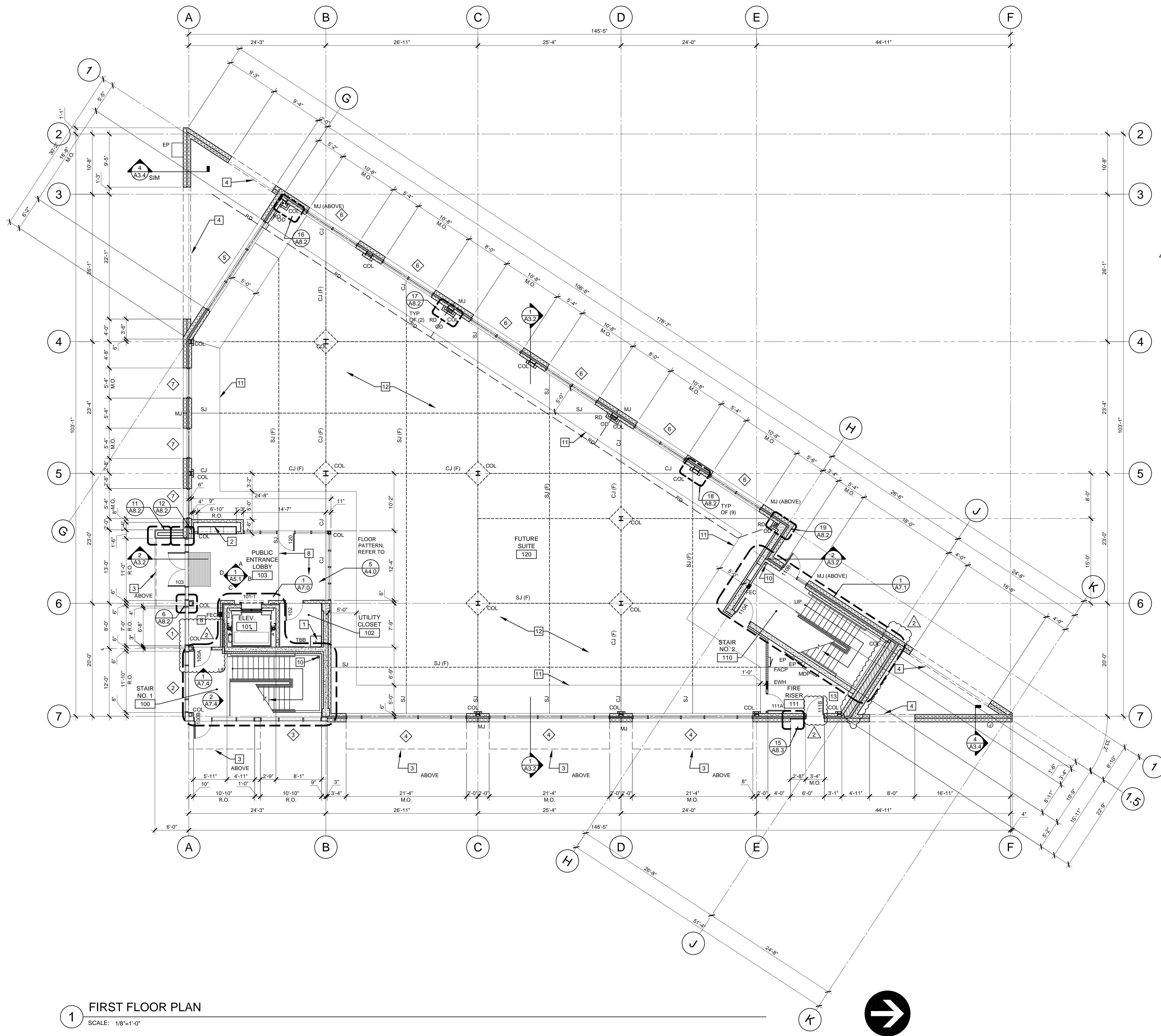
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L2.2



1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS
- DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING, AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
- DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF QUESTIONABLE WORK.

LEGEND:

- COL I STEEL COLUMN PER STRUCTURAL
- WINDOW UNIT, REFER TO A8.0
- 3 1/2" METAL STUD WALL (1) A3.5
- 6" METAL STUD WALL (1) A3.5
- 8" NOMINAL STRUCTURAL CMU OVER 6" METAL STUD OVER 3 1/2" METAL STUD FURRING (3) A3.3
- 4" NOMINAL BRICK VENEER OVER 6" METAL STUD OVER 3 1/2" METAL STUD FURRING (3) A3.3
- 8" NOMINAL STRUCTURAL CMU OVER 12" METAL STUD OVER 6" METAL STUD (4) A3.4
- 4" NOMINAL BRICK VENEER OVER 12" METAL STUD OVER 6" METAL STUD (2) A3.5
- DOUBLE WYTHE STRUCTURAL CMU WALL
- CONCRETE WALL WITH 3 1/2" METAL STUD FURRING (6" METAL STUD FURRING AS SHOWN)
- RATED ELEVATOR FRAMED WALL SYSTEM
- DOOR AND FRAME, REFER TO DOOR SCHEDULE
- MAGNETIC HOLD OPEN, REFER TO DOOR SPECIFICATIONS
- RD ROOF DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS
- OD OVERFLOW DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS
- MASONRY JOINT, REFER TO (6) A8.3
- ELECTRICAL PANEL, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
- FLOOR TO FLOOR ELECTRICAL CONDUIT LOCATIONS, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
- JUNCTION BOX FOR EXTERIOR SIGNAGE, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
- DUCTWORK, REFER TO MECHANICAL DESIGN/BUILD DRAWING
- ELECTRIC WALL HEATER, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
- CONSTRUCTION JOINT, (F) DENOTES FUTURE
- SAW CUT JOINT, (F) DENOTES FUTURE
- FIRE EXTINGUISHER CABINET

REFERENCE NOTES: (NOT ALL USED ON EACH SHEET)

- 1 JANITOR SINK, REFER TO PLUMBING DESIGN/BUILD DRAWING
- 2 MAIL BOX POSTAL SPECIALTY, REFER TO ELEVATION AND SPECIFICATIONS
- 3 EXTERIOR STEEL CANOPY, PAINT
- 4 CMU SOFFIT / WALL ABOVE
- 5 EXTERIOR ALUMINUM SHADE DEVICES, REFER TO SPECS AND (18) A8.1
- 6 LINE OF ROOF BELOW
- 7 OPENING IN FLOOR DECK, REFER TO STRUCTURAL DRAWINGS
- 8 AREA OF RECESSED FLOOR SLAB, REFER TO STRUCTURAL DRAWINGS
- 9 STEEL SHIPS LADDER
- 10 VERTICAL STANDPIPE, REFER TO DESIGN/BUILD FIRE SPRINKLER DRAWING
- 11 LINE OF CONCRETE SLAB ON GRADE POUR, EXTEND VAPOR BARRIER 12" OUT, REFER TO STRUCTURAL DRAWINGS
- 12 COMPACTED AGGREGATE BASE, PREPPED FOR FUTURE SLAB ON GRADE
- 13 FIRE SPRINKLER CONTRACTOR TO PROVIDE BACKFLOW DEVICE TO MEET CODE REQUIREMENTS



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JOB NO. 2015.0060

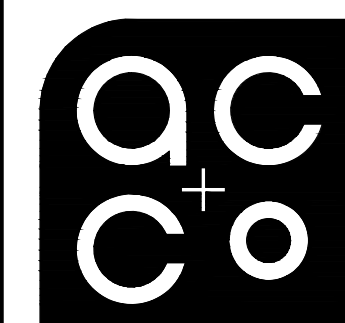
DATE AUG 17, 2016

DRAWN MLH

REVISIONS

1 REVISION: 09-02-16

2 PLAN REVIEW: 09-12-16



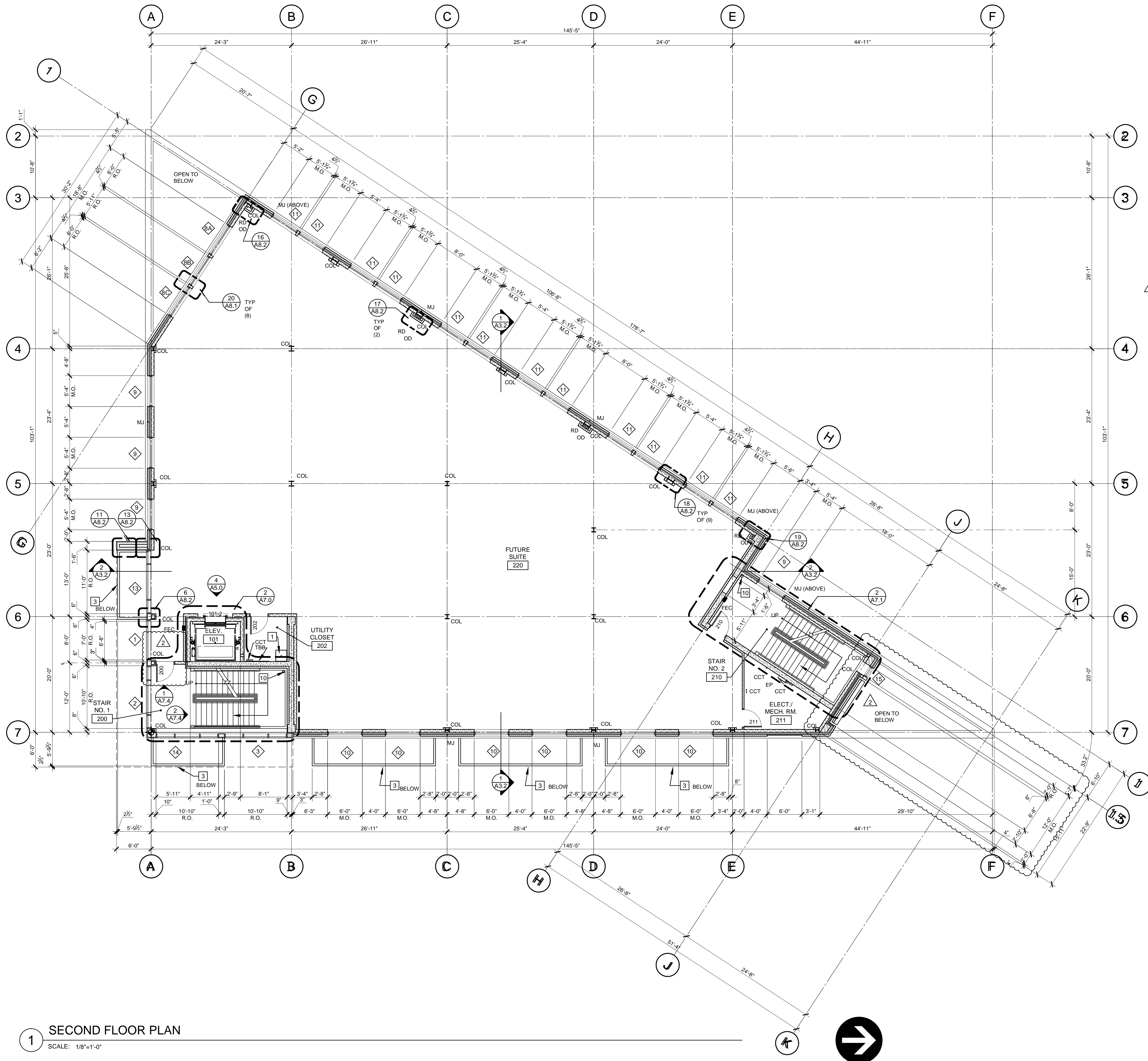
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SHEET

A2.1



1 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

- GENERAL NOTES:
- GENERAL NOTES APPLY TO ALL DRAWINGS
 - DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING, AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
 - DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF QUESTIONABLE WORK.

- LEGEND:
- COL STEEL COLUMN PER STRUCTURAL
 - WINDOW UNIT, REFER TO A8.0
 - 3 1/2" METAL STUD WALL (1) A3.5
 - 6" METAL STUD WALL (2) A3.5
 - 8" NOMINAL STRUCTURAL CMU OVER 6" METAL STUD OVER 3 1/2" METAL STUD FURRING (3) A3.3
 - 4" NOMINAL BRICK VENEER OVER 6" METAL STUD OVER 3 1/2" METAL STUD FURRING (3) A3.3
 - 8" NOMINAL STRUCTURAL CMU OVER 12" METAL STUD OVER 6" METAL STUD (4) A3.4
 - 4" NOMINAL BRICK VENEER OVER 12" METAL STUD OVER 6" METAL STUD (4) A3.4
 - DOUBLE WYTHE STRUCTURAL CMU WALL (4) A3.4
 - CONCRETE WALL WITH 3 1/2" METAL STUD FURRING (6" METAL STUD FURRING AS SHOWN) (2) A3.5
 - RATED ELEVATOR FRAMED WALL SYSTEM (2) A3.5
 - DOOR AND FRAME, REFER TO DOOR SCHEDULE
 - MAGNETIC HOLD OPEN, REFER TO DOOR SPECIFICATIONS
 - RD ROOF DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS
 - OD OVERFLOW DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS
 - MJ MASONRY JOINT, REFER TO (6) A8.3
 - EP ELECTRICAL PANEL, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
 - CCT FLOOR TO FLOOR ELECTRICAL CONDUIT LOCATIONS, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
 - JUNCTION BOX FOR EXTERIOR SIGNAGE, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
 - DUCTWORK, REFER TO MECHANICAL DESIGN/BUILD DRAWING
 - ELECTRIC WALL HEATER, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
 - CONSTRUCTION JOINT, (F) DENOTES FUTURE
 - SAW CUT JOINT, (F) DENOTES FUTURE
 - FIRE EXTINGUISHER CABINET

- REFERENCE NOTES: (NOT ALL USED ON EACH SHEET)
- 1 JANITOR SINK, REFER TO PLUMBING DESIGN/BUILD DRAWING
 - 2 MAIL BOX POSTAL SPECIALTY, REFER TO ELEVATION AND SPECIFICATIONS
 - 3 EXTERIOR STEEL CANOPY, PAINT
 - 4 CMU SOFFIT / WALL ABOVE
 - 5 EXTERIOR ALUMINUM SHADE DEVICES, REFER TO SPECS AND (18) A8.1
 - 6 LINE OF ROOF BELOW
 - 7 OPENING IN FLOOR DECK, REFER TO STRUCTURAL DRAWINGS
 - 8 AREA OF RECESSED FLOOR SLAB, REFER TO STRUCTURAL DRAWINGS
 - 9 STEEL SHIPS LADDER
 - 10 VERTICAL STANDPIPE, REFER TO DESIGN/BUILD FIRE SPRINKLER DRAWING
 - 11 LINE OF CONCRETE SLAB ON GRADE POUR, EXTEND VAPOR BARRIER 12" OUT, REFER TO STRUCTURAL DRAWINGS
 - 12 COMPACTED AGGREGATE BASE, PREPPED FOR FUTURE SLAB ON GRADE
 - 13 FIRE SPRINKLER CONTRACTOR TO PROVIDE BACKFLOW DEVICE TO MEET CODE REQUIREMENTS



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JOB NO. 2015.0060

DATE AUG 17, 2016

DRAWN MLH

REVISIONS
1 REVISION: 09-02-16
2 PLAN REVIEW: 09-12-16

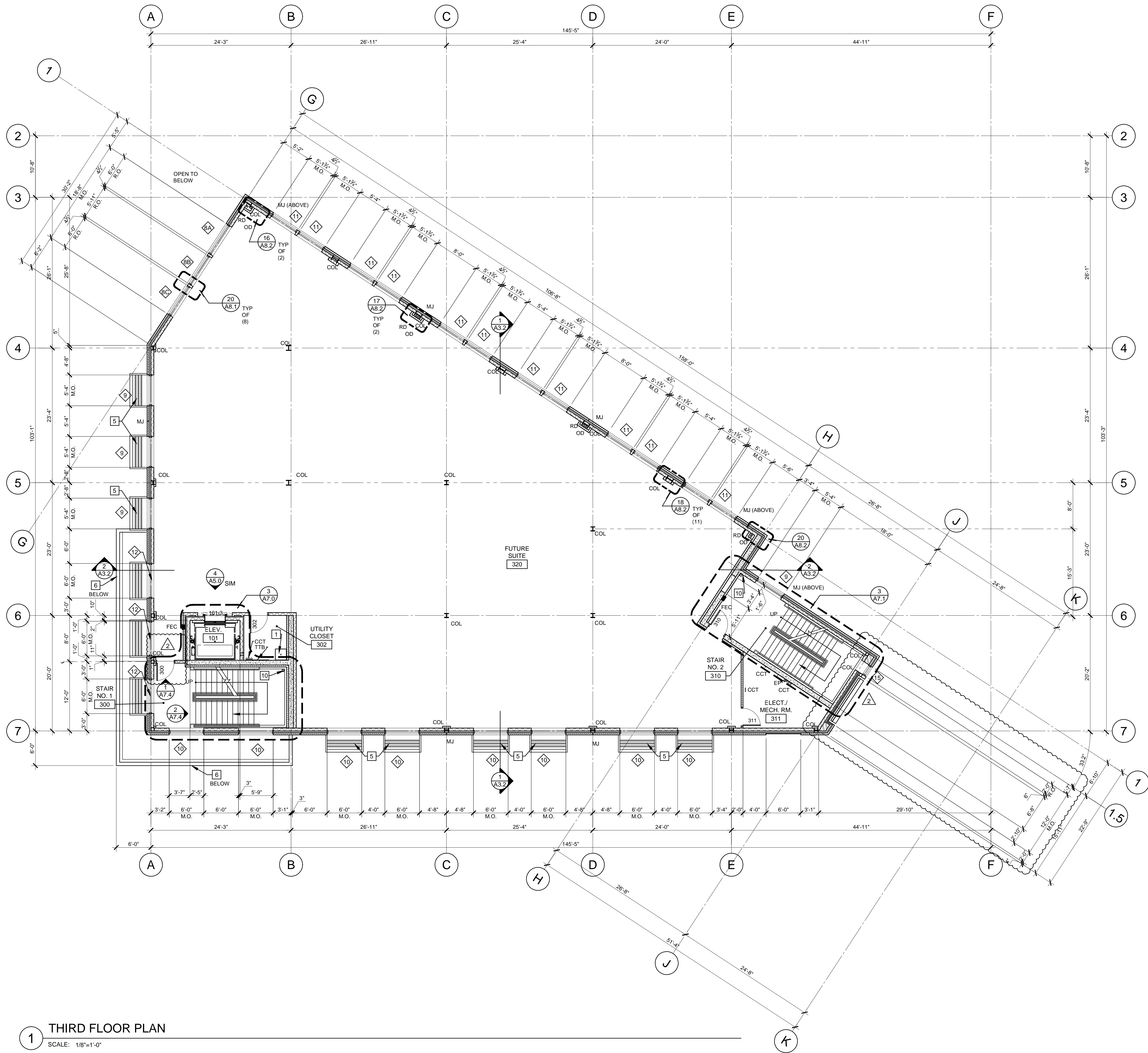
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A2.2



1 THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

GENERAL NOTES:

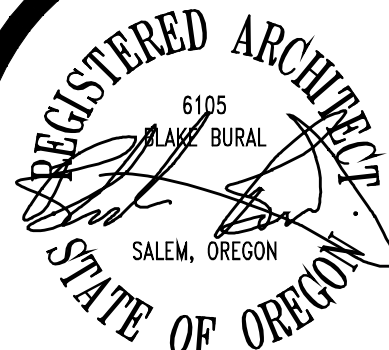
- GENERAL NOTES APPLY TO ALL DRAWINGS
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- DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF QUESTIONABLE WORK.

LEGEND:

- COL STEEL COLUMN PER STRUCTURAL
- WINDOW UNIT, REFER TO A8.0
- 3 1/2" METAL STUD WALL (1) A3.5
- 6" METAL STUD WALL (2) A3.5
- 8" NOMINAL STRUCTURAL CMU OVER 6" METAL STUD OVER 3 1/2" METAL STUD FURRING (3) A3.3
- 4" NOMINAL BRICK VENEER OVER 6" METAL STUD OVER 3 1/2" METAL STUD FURRING (3) A3.3
- 8" NOMINAL STRUCTURAL CMU OVER 12" METAL STUD OVER 6" METAL STUD (4) A3.4
- 4" NOMINAL BRICK VENEER OVER 12" METAL STUD OVER 6" METAL STUD (4) A3.4
- DOUBLE WYTHE STRUCTURAL CMU WALL (4) A3.4
- CONCRETE WALL WITH 3 1/2" METAL STUD FURRING (6" METAL STUD FURRING AS SHOWN) (2) A3.5
- RATED ELEVATOR FRAMED WALL SYSTEM (2) A3.5
- DOOR AND FRAME, REFER TO DOOR SCHEDULE
- MAGNETIC HOLD OPEN, REFER TO DOOR SPECIFICATIONS
- RD ROOF DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS
- OD OVERFLOW DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS
- MJ MASONRY JOINT, REFER TO (6) A8.3
- EP ELECTRICAL PANEL, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
- CCT FLOOR TO FLOOR ELECTRICAL CONDUIT LOCATIONS, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
- JUNCTION BOX FOR EXTERIOR SIGNAGE, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
- DUCTWORK, REFER TO MECHANICAL DESIGN/BUILD DRAWING
- ELECTRIC WALL HEATER, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
- CONSTRUCTION JOINT, (F) DENOTES FUTURE
- SAW CUT JOINT, (F) DENOTES FUTURE
- FIRE EXTINGUISHER CABINET

REFERENCE NOTES: (NOT ALL USED ON EACH SHEET)

- JANITOR SINK, REFER TO PLUMBING DESIGN/BUILD DRAWING
- MAIL BOX POSTAL SPECIALTY, REFER TO ELEVATION AND SPECIFICATIONS
- EXTERIOR STEEL CANOPY, PAINT
- CMU SOFFIT / WALL ABOVE
- EXTERIOR ALUMINUM SHADE DEVICES, REFER TO SPECS AND (18) A8.1
- LINE OF ROOF BELOW
- OPENING IN FLOOR DECK, REFER TO STRUCTURAL DRAWINGS
- AREA OF RECESSED FLOOR SLAB, REFER TO STRUCTURAL DRAWINGS
- STEEL SHIPS LADDER
- VERTICAL STANDPIPE, REFER TO DESIGN/BUILD FIRE SPRINKLER DRAWING
- LINE OF CONCRETE SLAB ON GRADE POUR. EXTEND VAPOR BARRIER 12" OUT, REFER TO STRUCTURAL DRAWINGS
- COMPACTED AGGREGATE BASE, PREPPED FOR FUTURE SLAB ON GRADE
- FIRE SPRINKLER CONTRACTOR TO PROVIDE BACKFLOW DEVICE TO MEET CODE REQUIREMENTS



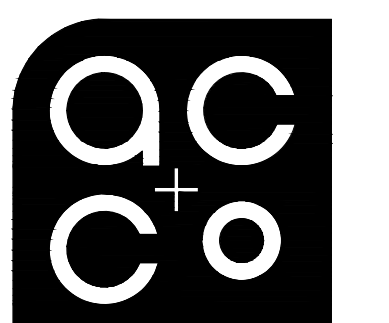
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JOB NO. 2015.0060

DATE AUG 17, 2016

DRAWN MLH

REVISIONS
1 REVISION: 09-02-16
2 PLAN REVIEW: 09-12-16



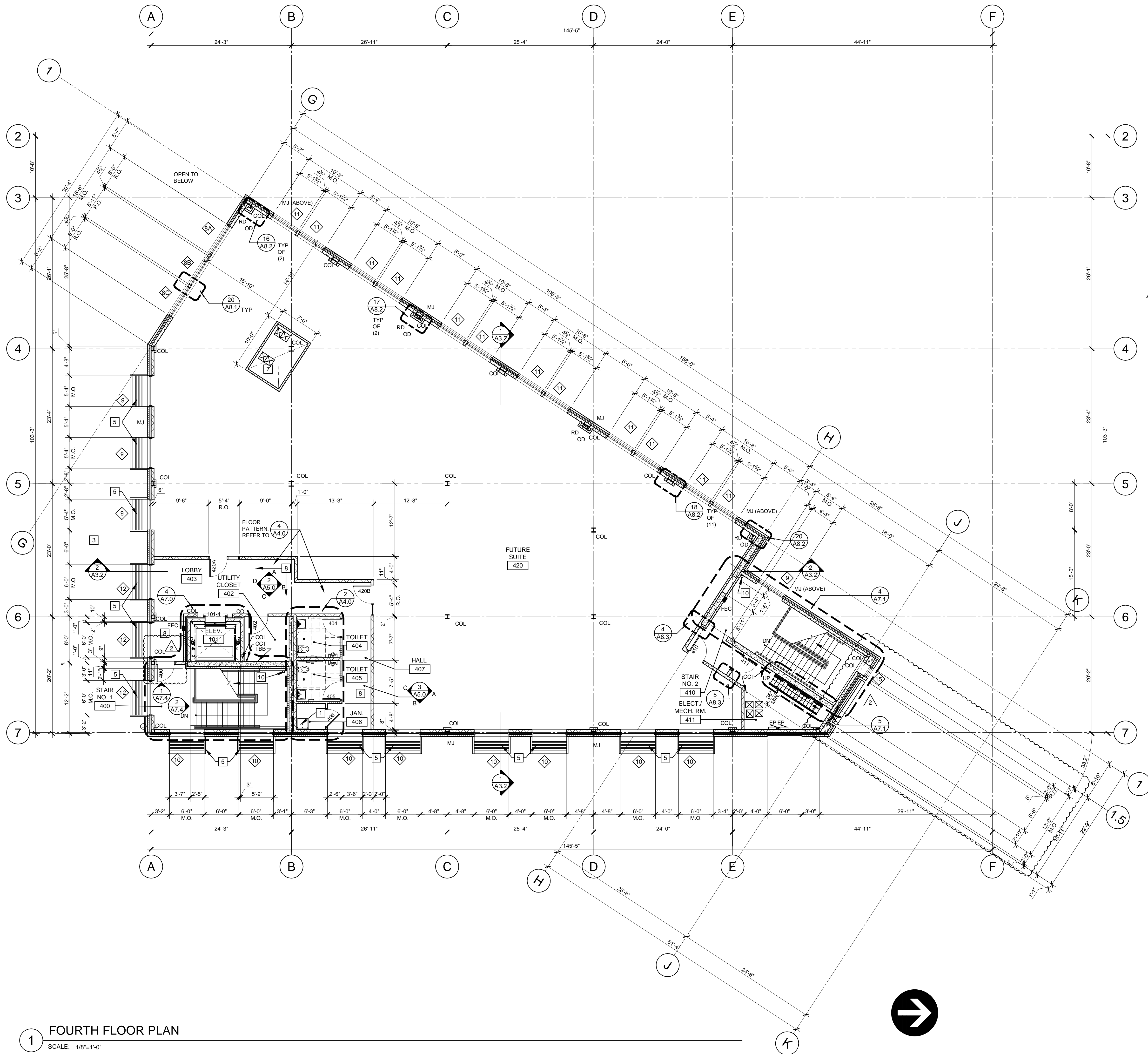
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A2.3

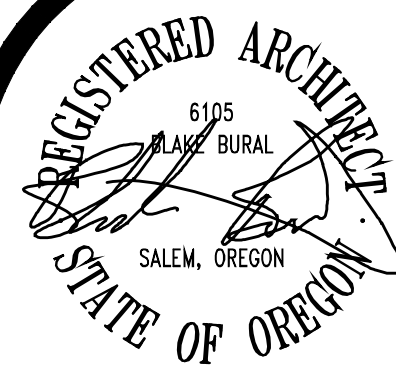


1 FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"

- GENERAL NOTES:
- GENERAL NOTES APPLY TO ALL DRAWINGS
 - DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING, AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
 - DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF QUESTIONABLE WORK.

- LEGEND:
- COL STEEL COLUMN PER STRUCTURAL
 - WINDOW UNIT, REFER TO A8.0
 - 3 1/2" METAL STUD WALL (A3.5)
 - 6" METAL STUD WALL (A3.5) SIM
 - 8" NOMINAL STRUCTURAL CMU OVER 6" METAL STUD OVER 3 1/2" METAL STUD FURRING (A3.3)
 - 4" NOMINAL BRICK VENEER OVER 6" METAL STUD OVER 3 1/2" METAL STUD FURRING (A3.3)
 - 8" NOMINAL STRUCTURAL CMU OVER 12" METAL STUD OVER 6" METAL STUD (A3.4)
 - 4" NOMINAL BRICK VENEER OVER 12" METAL STUD OVER 6" METAL STUD (A3.4)
 - DOUBLE WYTHE STRUCTURAL CMU WALL (A3.4)
 - CONCRETE WALL WITH 3 1/2" METAL STUD FURRING (6" METAL STUD FURRING AS SHOWN) (A3.5)
 - RATED ELEVATOR FRAMED WALL SYSTEM (A2.5)
 - DOOR AND FRAME, REFER TO DOOR SCHEDULE
 - MAGNETIC HOLD OPEN, REFER TO DOOR SPECIFICATIONS
 - RD ROOF DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS
 - OD OVERFLOW DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS
 - MJ MASONRY JOINT, REFER TO (A6.3)
 - EP ELECTRICAL PANEL, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
 - CCT FLOOR TO FLOOR ELECTRICAL CONDUIT LOCATIONS, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
 - JUNCTION BOX FOR EXTERIOR SIGNAGE, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
 - DUCTWORK, REFER TO MECHANICAL DESIGN/BUILD DRAWING
 - EWH ELECTRIC WALL HEATER, REFER TO ELECTRICAL DESIGN/BUILD DRAWING
 - CJ CONSTRUCTION JOINT, (F) DENOTES FUTURE
 - SJ SAW CUT JOINT, (F) DENOTES FUTURE
 - FEC FIRE EXTINGUISHER CABINET

- REFERENCE NOTES: (NOT ALL USED ON EACH SHEET)
- JANITOR SINK, REFER TO PLUMBING DESIGN/BUILD DRAWING
 - MAIL BOX POSTAL SPECIALTY, REFER TO ELEVATION AND SPECIFICATIONS
 - EXTERIOR STEEL CANOPY, PAINT
 - CMU SOFFIT / WALL ABOVE
 - EXTERIOR ALUMINUM SHADE DEVICES, REFER TO SPECS AND (A8.1)
 - LINE OF ROOF BELOW
 - OPENING IN FLOOR DECK, REFER TO STRUCTURAL DRAWINGS
 - AREA OF RECESSED FLOOR SLAB, REFER TO STRUCTURAL DRAWINGS
 - STEEL SHIPS LADDER
 - VERTICAL STANDPIPE, REFER TO DESIGN/BUILD FIRE SPRINKLER DRAWING
 - LINE OF CONCRETE SLAB ON GRADE POUR. EXTEND VAPOR BARRIER 12" OUT. REFER TO STRUCTURAL DRAWINGS
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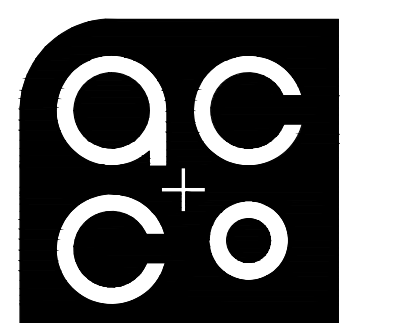
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DATE AUG 17, 2016

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REVISION: 09-02-16
PLAN REVIEW: 09-12-16



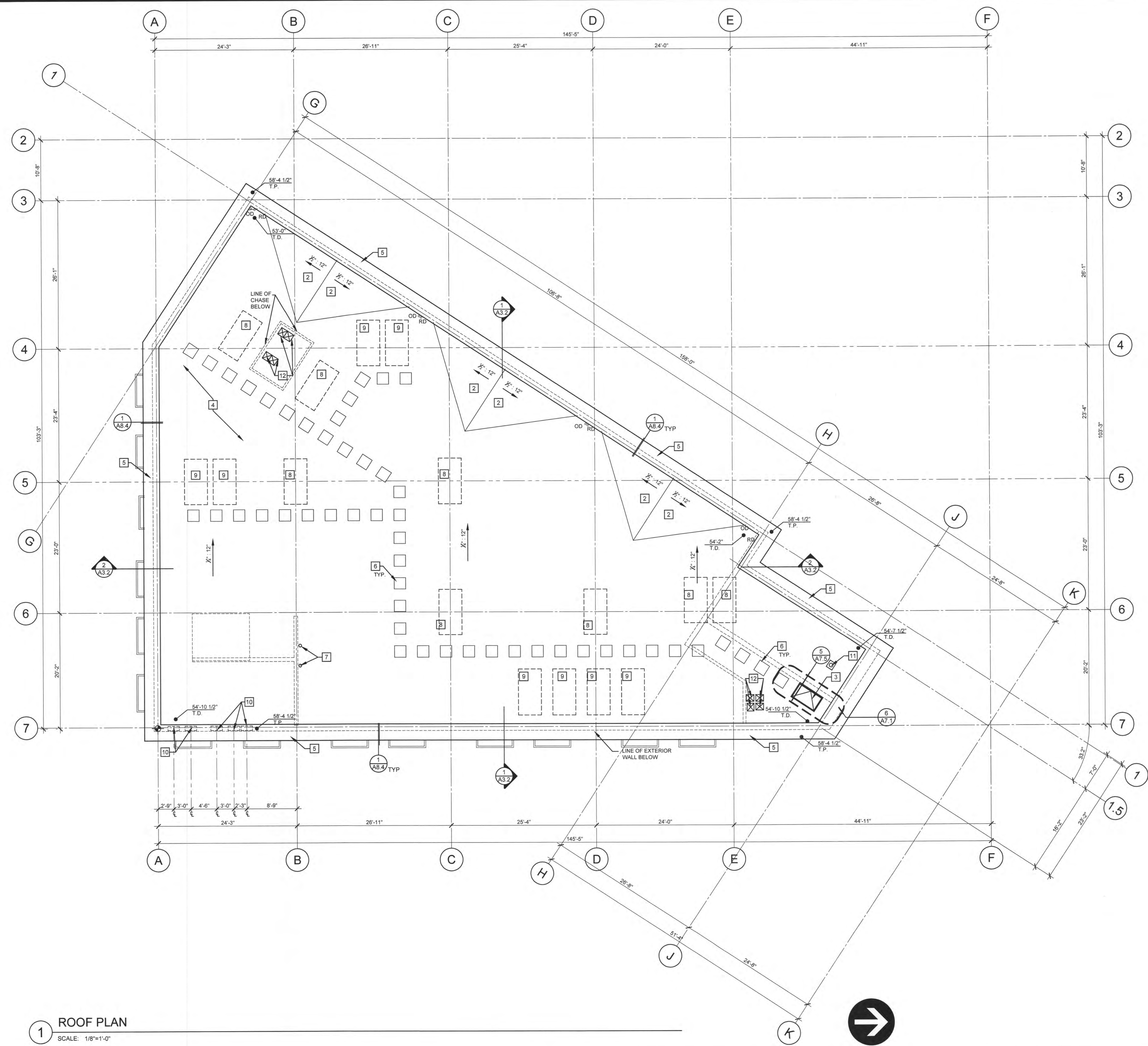
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A2.4



GENERAL NOTES:

1. REFER TO DESIGN/BUILD DRAWINGS FOR ROOF TOP EQUIPMENT, LOCATIONS AND EQUIPMENT WEIGHTS TO BE COORDINATE WITH ARCHITECT.

LEGEND:

RD ROOF DRAIN OR OVERFLOW DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS

OD

ELEVATION
TP = TOP OF PARAPET
TD = TOP OF DECK

REFERENCE NOTES:

1 NOT USED

2 TAPERED INSULATION AS SHOWN

3 ROOF ACCESS HATCH (A7.5) (A3.3) (A3.2)

4 MEMBRANE ROOF SYSTEM

5 PRE-FINISHED METAL PARAPET CAP

6 MEMBRANE WALKING PADS, FULLY ADHERED, SPACE FOR DRAINAGE

7 VENT THRU ROOF, REFER TO PLUMBING DESIGN/BUILD DRAWINGS

8 FUTURE HVAC EQUIPMENT, REFER TO MECHANICAL DESIGN/BUILD DRAWINGS, PIPING AND DUCT PENETRATIONS THRU ROOF, COORDINATE WITH ROOFING MANUFACTURER TO SEPARATE PENETRATIONS FOR FLASHING SYSTEMS

9 FUTURE CONDENSING UNIT, PROVED CURB AND ROOF FLASHING UNDER THIS CONTRACT, REFER TO MECHANICAL DESIGN/BUILD DRAWINGS

10 EXTERIOR ACCESS PANEL (18" x 16"), REFER TO SPECIFICATIONS

11 EXHAUST FAN, REFER TO MECHANICAL DESIGN/BUILD DRAWINGS

12 DUCT PENETRATIONS, REFER TO MECHANICAL DESIGN/BUILD DRAWINGS



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REVISIONS



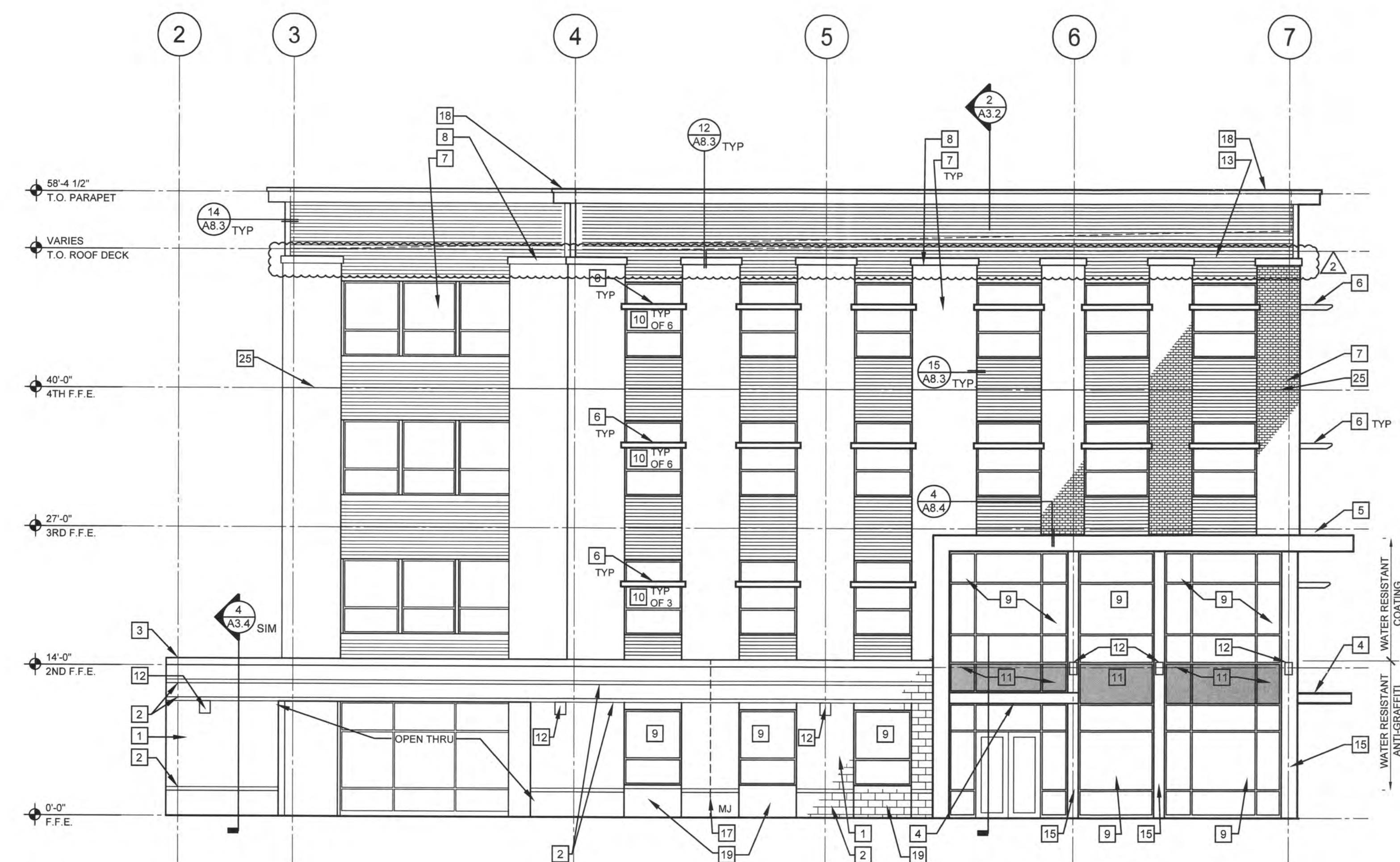
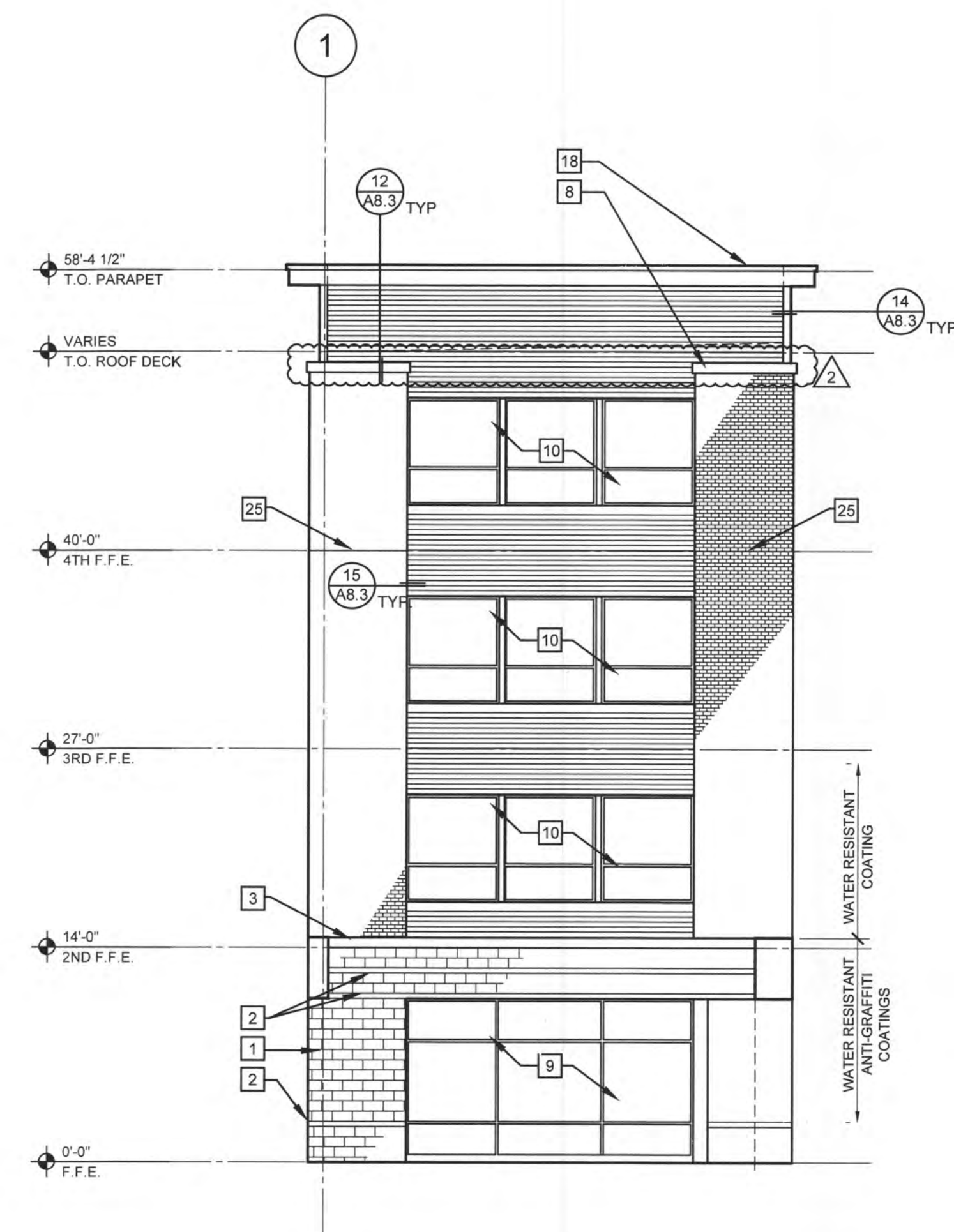
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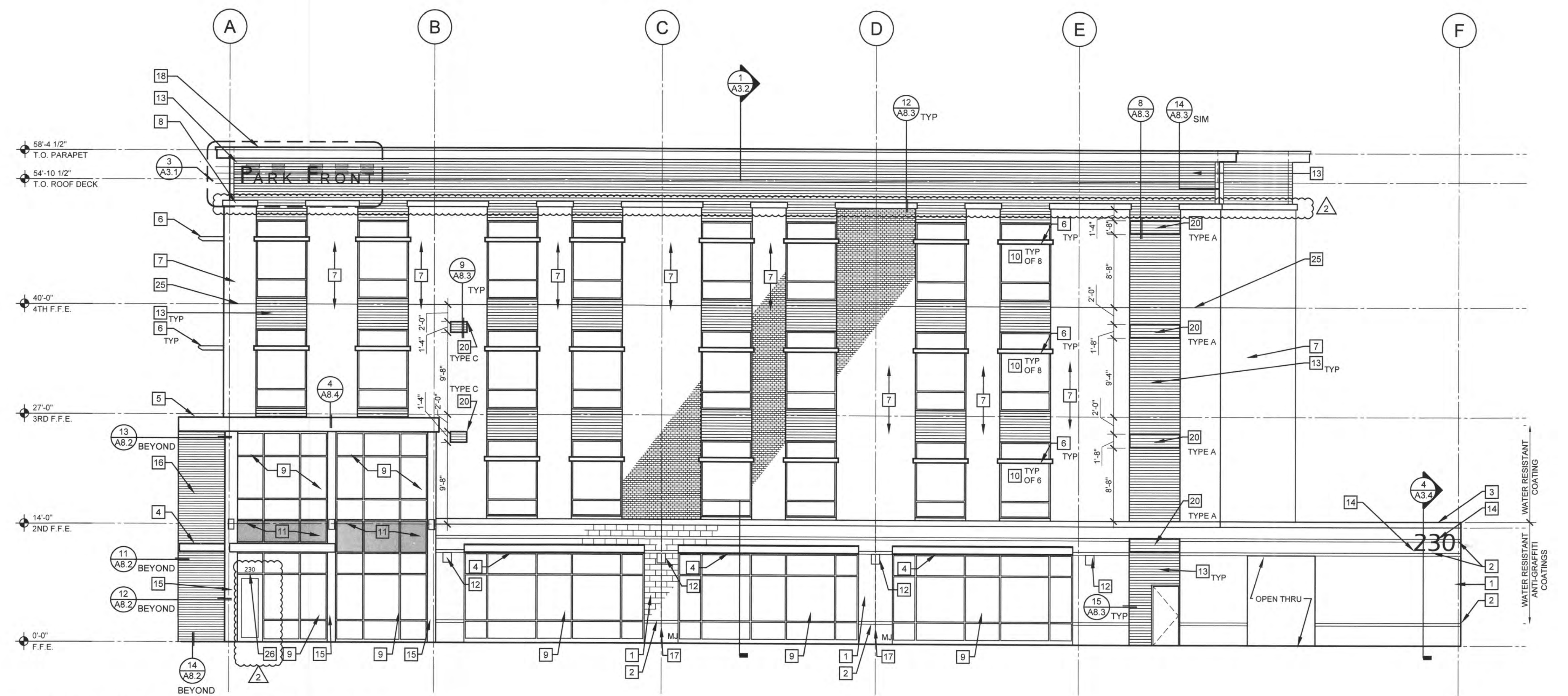
SHEET

A2.5



- ## GENERAL NOTES:
-
1. PROVIDE ANTI-GRAFFITI COATING ON ALL EXPOSED CMU SURFACES, REFER TO SPECIFICATIONS.
 2. PROVIDE WATER REPELLANT COATING ON ALL EXPOSED BRICK MASONRY UNITS, REFER TO SPECIFICATIONS.
 3. REFER TO WALL SECTIONS FOR ADDITIONAL EXTERIOR WALL INFORMATION.

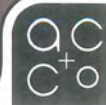
- | REFERENCE NOTES: | |
|------------------|--|
| 1 | STRUCTURAL CMU MASONRY UNIT (8x8x16 NOM.) (6x8x16 WHERE NOTED) |
| 2 | STRUCTURAL CMU ACCENT BLOCK (4x8x16 NOM.) |
| 3 | CMU SILL BLOCK |
| 4 | STEEL CANOPY, PAINT |
| 5 | EXTENDED ROOF CANOPY |
| 6 | ALUMINUM SHADE DEVICE |
| 7 | BRICK MASONRY VENER |
| 8 | BRICK MASONRY ACCENT |
| 9 | ALUMINUM STOREFRONT WINDOW SYSTEM PER PLAN |
| 10 | FIBERGLASS WINDOW SYSTEM PER PLAN |
| 11 | SPANDREL GLAZING |
| 12 | LIGHT FIXTURE, REFER TO ELECTRICAL DESIGN/BUILD DRAWINGS |
| 13 | METAL SIDING |
| 14 | BUILDING SIGNAGE BY OWNER, REFER TO ELECTRICAL DESIGN/BUILD DRAWING AT SIM. CONDITIONS |
| 15 | PRE-FINISHED SHEET METAL FLASHING |
| 16 | TONGUE AND GROOVE CEDAR SIDING |
| 17 | MASONRY JOINT, REFER TO |
| 18 | PRE-FINISHED SHEET METAL CAP FLASHING |
| 19 | CMU MASONRY UNIT (6x8x16 NOM.) BELOW WINDOW |
| 20 | METAL LOUVER <ul style="list-style-type: none"> • TYPE A: 48"x20" • TYPE B: 48"x20" • TYPE C: 24"x16" |
| 21 | EXTERIOR ACCESS PANEL BEYOND (18"x16") |
| 22 | OVERFLOW DRAIN, REFER TO PLUMBING DESIGN/BUILD DRAWINGS |
| 23 | ELECTRONIC SIGN BY OWNER |
| 24 | STRIP ACCENT LIGHTING, REFER TO ELECTRICAL DESIGN/BUILD DRAWING |
| 25 | HORIZONTAL SEPARATION AT BRICK VENER |
| 26 | 6" TALL CONTRASTING COLOR SIGNAGE APPLIED TO WINDOW (OFCI) |



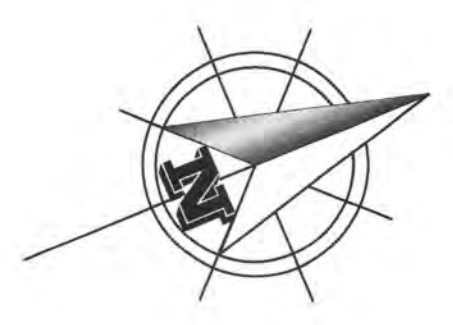
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SPECIFIC UTILITY POSITIONS INDICATED ON THE GROUND SURFACE PROVIDED BY LOCATION SERVICES MAY VARY DUE TO UNDERGROUND DETECTION CAPABILITIES.

BENCHMARK UTILIZED: CITY OF SALEM - PID:1016R
ELEV: 158.81(NGVD 29)

DESCRIPTION:
STATE ST. AND COMMERCIAL ST. N.E., N.W. CORNER OF INTERSECTION,
ON MID RADIUS OF BULBOUT, 22.5' S.E. OF BUILDING CORNER,
21' EAST OF TRAFFIC SIGNAL POLE.

ABBREVIATIONS

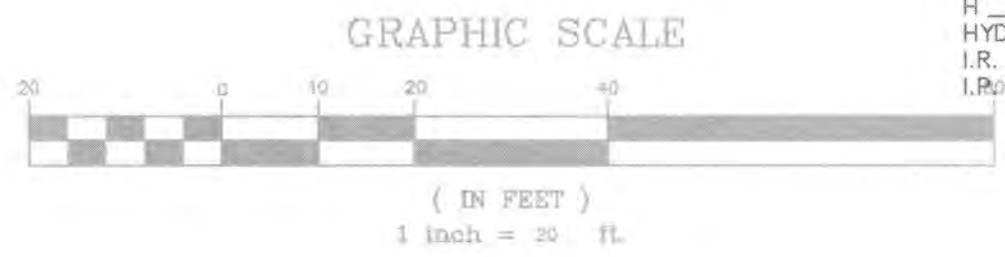
A.C. or ASPH.	ASPHALTIC CONCRETE	IRR.	IRRIGATION
A.D.	AREA DRAIN	INV.	INVERT
ASSY.	ASSEMBLY	J.B.	JUNCTION BOX
BLDG. or BLD.	BUILDING	L.P.	LIGHT POLE
BW	BOTTOM OF WALL	M	METER, MAIN
CATV	CABLE TELEVISION	M.B.	MAILBOX
C.B.	CATCH BASIN	M.H.	MANHOLE
C.O.	CLEAN-OUT	O.H.	OVER-HEAD
CONC.	CONCRETE	P/L or P	PROPERTY LINE
C.L. or C	CENTERLINE	P.P.	POWER POLE
D.I.	DUCTILE IRON	P.V.C.	POLYVINYL CHLORIDE
E.G.	EDGE OF GRAVEL	PWR or P	POWER
E.O.P. or E.P.	EDGE OF PAVEMENT	R. or RAD.	RADIUS
ELEV.	ELEVATION	R.O.W. or R/W	RIGHT-OF-WAY
EX. or EXIST.	EXISTING	SAN. SEWER or S.S.	SANITARY SEWER
F.D.C.	FIRE DEPT. CONNECTOR	ST.D. or S.D.	STORM DRAIN
FT.	FEET	SVC.	SERVICE
F.F.	FINISH FLOOR	S/W	SIDEWALK
F.G.	FINISH GRADE	T.C.	TOP OF CURB
F.H.	FIRE HYDRANT	TEL. or T	TELEPHONE
F.I.	FIELD INLET	TRANS.	TRANSFORMER
F.M.	FORCE MAIN	TRAF. SIG. or T.S.	TRAFFIC SIGNAL
GRAV.	GRAVEL	TW	TOP OF WALL
G.M.	GAS METER	TYP.	TYPICAL
G.P.	GATE POST	U.G. or U/G	UNDER GROUND
GS	GROUND SHOT	UTIL.	UTILITY
G.V.	GAS VALVE	W/	WITH
H	HANDICAP	WAT. or W	WATER
HYD.	HYDRANT	W.L.M.	WETLANDS MARKER
I.R.	IRON ROD	W.M.	WATER METER
I.P.	IRON PIPE	Y.P.C.	YELLOW PLASTIC CAP

SYMBOLS

- AD AREA DRAIN
- CO or III CATCH BASIN
- CO or III SEWER CLEANOUT
- Fire Hydrant symbol
- Gas Valve symbol
- Water Valve symbol
- Water Meter symbol
- Down Spout symbol
- Manhole Telephone symbol
- Manhole Storm Drain symbol
- Manhole San. Sewer symbol
- Trees - (TREENAME* DIAMETER (INCHES)/DRIP RADIUS (FEET))
- Note: DIAMETER MEASURED AT BREAST HEIGHT
- Sign Post symbol
- Power Pedestal symbol
- Telephone Pedestal symbol
- CATV Pedestal symbol
- Mail Box symbol
- Irrigation Valve symbol
- Street Lights symbol
- Utility/Power Poles symbol
- Test Pit symbol
- Monument Found symbol

LINE TYPES

- CATV LINE
- COMMUNICATION LINE
- EASEMENT LINE
- FENCE LINE
- FIBER OPTIC
- GAS LINE
- OVERHEAD LINE
- PHONE LINE
- POWER LINE
- SANITARY SEWER
- STORM DRAIN
- WATER LINE



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SURVEY FOR: RICH DUNCAN CONSTRUCTION
JAMES STURDIVANT AND TJ SULLIVAN

LOCATION: FRONT ST. S.E. AND FERRY ST. S.E.

NW 1/4 SECTION 27
T7S, R3W, W.M.

CITY OF SALEM
MARION COUNTY, OREGON

SCALE: 1"=20'
JULY 18, 1994

DATE: 6/30/2016

EXPIRATION DATE: 6/30/2016

SHEET 1 OF 1

JOB NUMBER: 40291

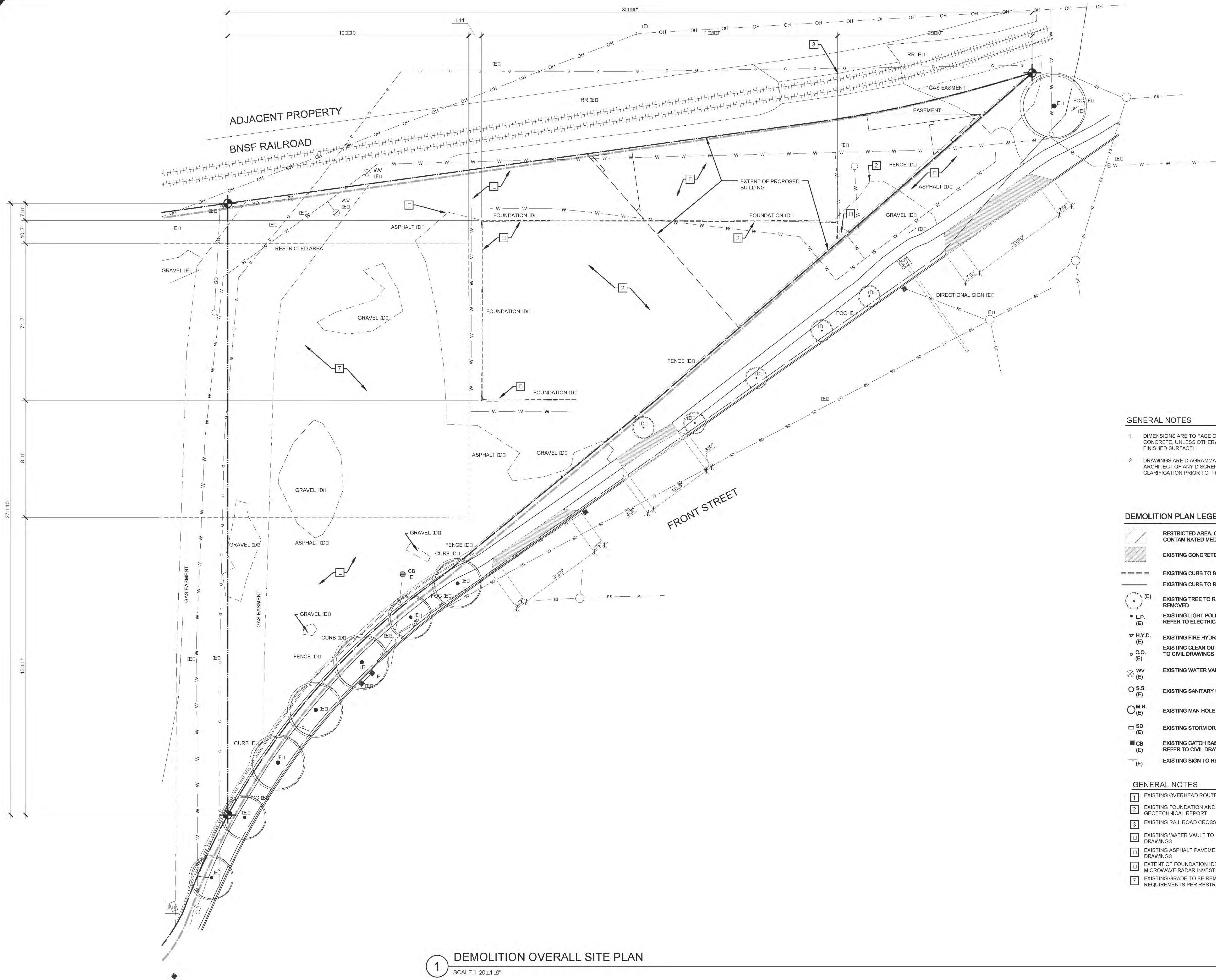
JOB NO. 2015.0060
DATE AUG 17, 2016
DRAWN
REVISIONS



PARK FRONT
OFFICE BUILDING

230 FRONT STREET
SALEM, OREGON 97301
SHEET

A1.0



- GENERAL NOTES**
- DIMENSIONS ARE TO FACE OF STUDS, FACE OF MASONRY AND FACE OF CONCRETE, UNLESS OTHERWISE NOTED. "CLEAR" DIMENSION IS TO FACE OF FINISHED SURFACE.
 - DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS FOR CLARIFICATION PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.

- DEMOLITION PLAN LEGEND:**
- RESTRICTED AREA, CONTAMINATED SOILS TO BE HANDLED AS REQUIRED PER CONTAMINATED MEDIA MANAGEMENT PLAN, REFER TO SPECIFICATIONS
 - EXISTING CONCRETE PAVEMENT TO BE REMOVED
 - EXISTING CURB TO BE REMOVED
 - EXISTING CURB TO REMAIN
 - EXISTING TREE TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED
 - EXISTING LIGHT POLE TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED, REFER TO ELECTRICAL DRAWINGS
 - EXISTING FIRE HYDRANT TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING CLEAN OUT TO REMAIN, (D) DESIGNATES TO BE REMOVED, REFER TO CIVIL DRAWINGS
 - EXISTING WATER VALVE TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING SANITARY SEWER TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING MAN HOLE TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING STORM DRAIN TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING CATCH BASIN TO REMAIN, (D) DESIGNATES TO BE REMOVED, REFER TO CIVIL DRAWINGS
 - EXISTING SIGN TO REMAIN, (D) DESIGNATES TO BE REMOVED

- GENERAL NOTES**
- EXISTING OVERHEAD ROUTE SIGN POST TO REMAIN
 - EXISTING FOUNDATION AND FILL TO BE REMOVED AS DIRECTED BY GEOTECHNICAL REPORT
 - EXISTING RAIL ROAD CROSSING TO REMAIN
 - EXISTING WATER VAULT TO BE REMOVED AND RELOCATED, REFER TO CIVIL DRAWINGS
 - EXISTING ASPHALT PAVEMENT AND BASE ROCK TO BE REMOVED, REFER TO CIVIL DRAWINGS
 - EXTENT OF FOUNDATION IDENTIFIED BY SURVEY, AND GROUND PENETRATING MICROWAVE RADAR INVESTIGATION, REFER TO SPECIFICATIONS
 - EXISTING GRADE TO BE REMOVED PER CIVIL DRAWINGS, REFER TO REQUIREMENTS PER RESTRICTED AREA.

1 DEMOLITION OVERALL SITE PLAN
SCALE: 20' = 1" (1/4" = 1')



PRELIMINARY
NOT FOR CONSTRUCTION
ARCHITECTURE COMMUNITY
DATE: JUL 27, 2016

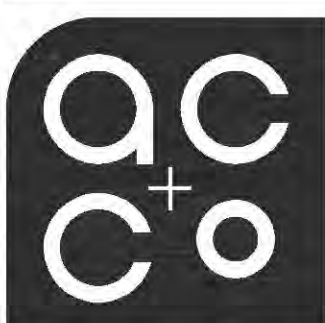
In the event conflicts are discovered between the original signed and sealed documents prepared by the Architect and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO. 2015.0060

DATE JULY 27, 2016

DRAWN MLH

REVISIONS



ARCHITECTURE
COMMUNITY
363 State Street
Salem, OR
97301-3533
P: 503.581.4114
www.accoac.com

PARK FRONT
OFFICE BUILDING

230 FRONT STREET
SALEM, OREGON 97301

SHEET

AD1.1

MARQUIS NORTH BLOCK INTERIM GRADING

FRONT STREET S.E. & COMMERCIAL STREET S.E., SALEM, OR
TAX LOT 073W27BA03100, SECTION 27, T. 17S, R. 3W, W.M.

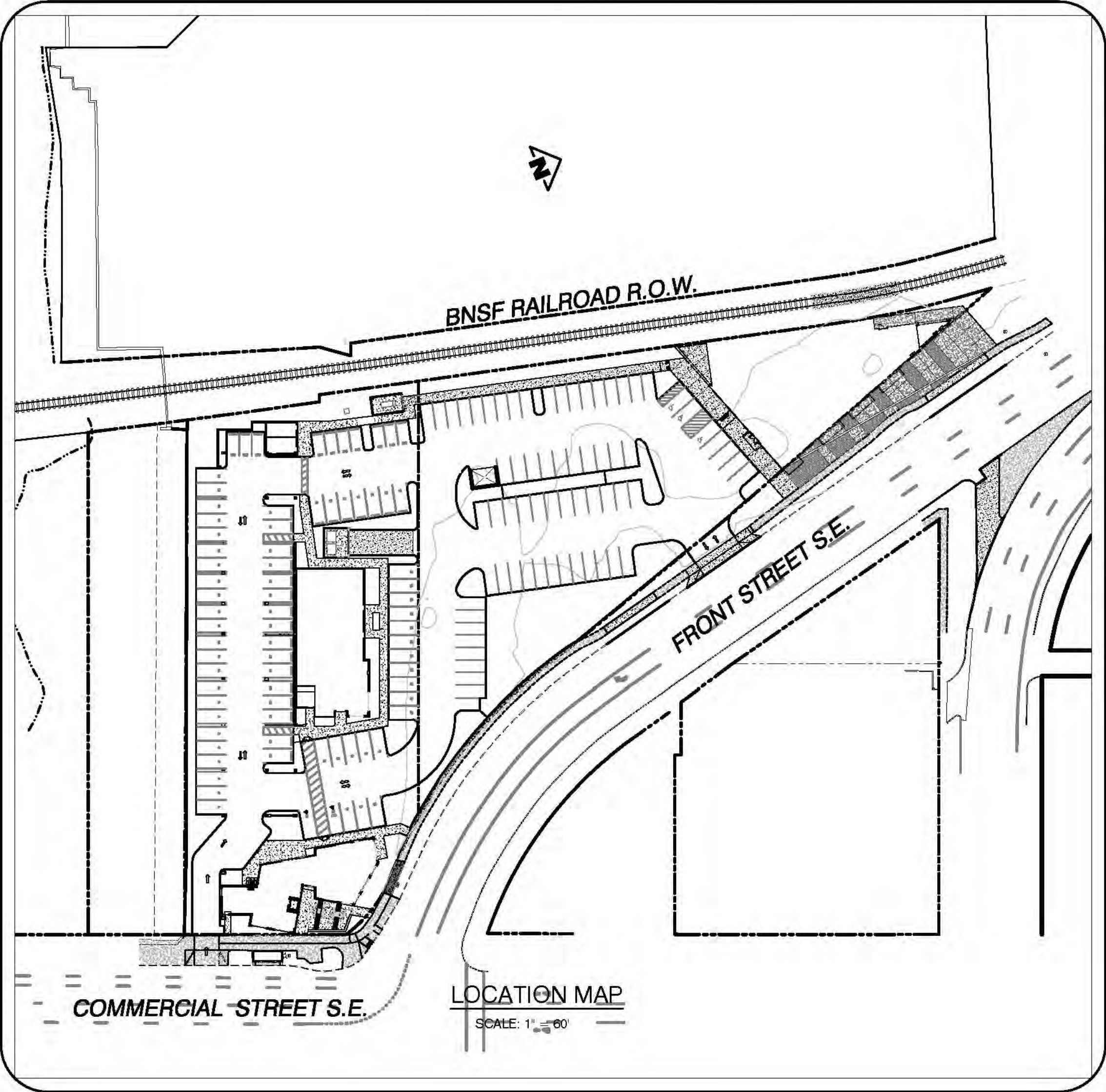
EXISTING STRUCTURES

- AD ① AREA DRAIN
- ① or ② CATCH BASIN
- ② or ③ SEWER CLEANOUT
- ③ FIRE HYDRANT
- ④ GAS VALVE
- ⑤ WATER VALVE
- ⑥ WATER METER
- ⑦ DOWN SPOUT
- ⑧ MANHOLE TELEPHONE
- ⑨ MANHOLE STORM DRAIN
- ⑩ MANHOLE SAN. SEWER
- ⑪ SIGN POST
- ⑫ POWER PEDESTAL
- ⑬ TELEPHONE PEDESTAL
- ⑭ CATV PEDESTAL
- ⑮ MAIL BOX
- ⑯ IRRIGATION VALVE
- ⑰ STREET LIGHTS
- ⑱ UTILITY/POWER POLES
- ⑲ TEST PIT
- ⑳ MONUMENT FOUND
- ㉑ TREES

LEGEND

- ### EXISTING UTILITY LINES
- CATV LINE — CATV — CATV — CATV — CATV — CATV — CATV — CATV
 - COMMUNICATION LINE — COM — COM — COM — COM — COM — COM — COM — COM
 - EASEMENT LINE — EASE — EASE — EASE — EASE — EASE — EASE — EASE
 - FENCE LINE — FENCE — FENCE — FENCE — FENCE — FENCE — FENCE — FENCE
 - FIBER OPTIC LINE — FOC — FOC — FOC — FOC — FOC — FOC — FOC — FOC
 - GAS LINE — XG — XG — XG — XG — XG — XG — XG — XG
 - OVERHEAD LINE — XOH — XOH — XOH — XOH — XOH — XOH — XOH — XOH
 - PHONE LINE — PH — PH — PH — PH — PH — PH — PH — PH
 - POWER LINE — ELEC — ELEC — ELEC — ELEC — ELEC — ELEC — ELEC — ELEC
 - SANITARY SEWER — XSS — XSS — XSS — XSS — XSS — XSS — XSS — XSS
 - STORM SEWER — XSD — XSD — XSD — XSD — XSD — XSD — XSD — XSD
 - WATER LINE — XW — XW — XW — XW — XW — XW — XW — XW

- ### PROPOSED UTILITY LINES/STRUCTURES
- DS — PROPOSED DOWNSPOUT AND RAINDRAIN
 - SD — SD — PROPOSED PUBLIC STORM SEWER WITH MANHOLE
 - SD — SD — PROPOSED PRIVATE STORM SEWER WITH CLEANOUT
 - CB — PROPOSED PUBLIC CATCH BASIN
 - CB — PROPOSED PRIVATE CATCH BASIN
 - SS — SS — PROPOSED SANITARY SEWER WITH MANHOLE
 - SS — SS — PROPOSED SANITARY LATERAL
 - SS — SS — PROPOSED PRIVATE SANITARY WITH CLEANOUT
 - GI — PROPOSED GREASE INTERCEPTOR
 - PGU — PROPOSED PGE UTILITY POLE AND GUY
 - W — W — PROPOSED PUBLIC WATER LINE
 - W — W — PROPOSED DOMESTIC WATER LINE
 - W — W — PROPOSED FIRE LINE
 - PH — PROPOSED FIRE HYDRANT ASSEMBLY
 - GV — PROPOSED GATE VALVE
 - WM — PROPOSED WATER METER
 - BO — PROPOSED BLOWOFF
 - WV — PROPOSED WATER METER VAULT
 - W — FDC — PROPOSED FIRE DEPARTMENT CONNECTION
 - PIV — PROPOSED POST INDICATOR VALVE
 - IM — PROPOSED IRRIGATION METER
 - DCBP — PROPOSED DOUBLE CHECK BACKFLOW PREVENTER



DRAWING INDEX

1. COVER SHEET
2. EXISTING CONDITIONS PLAN
3. SITE PLAN
4. COMPOSITE UTILITY PLAN
5. GRADING PLAN
6. LIMITS OF GREENWAY

PROJECT CONTACTS

OWNER: SALEM LTC PROPERTIES LLC
4560 SE INTERNATIONAL WAY
SUITE 100
MILWAUKIE, OREGON 97222

APPLICANT: MARQUIS COMPANIES, INC.
4560 SE INTERNATIONAL WAY
SUITE 100
MILWAUKIE, OREGON 97222
ATTN: SCOTT MILLER

ENGINEER: EMERIO DESIGN
6107 SW MURRAY BLVD., SUITE 147
BEAVERTON, OREGON 97008
ATTN: ERIC EVANS
(503) 853-1910 (P)

SURVEYOR: EMERIO DESIGN
6107 SW MURRAY BLVD., SUITE 147
BEAVERTON, OREGON 97008

UTILITY CONTACTS

POWER: PGE
3304 LANCASTER DR NE
SALEM, OR 97305
(503) 399-7717

WATER: CITY OF SALEM

GAS: NORTHWEST NATURAL GAS
3123 BROADWAY ST. NE
SALEM, OR 97303
(503) 585-6611

CABLE: COMCAST
1410 LANCASTER DR NE
SALEM, OR 97301
888-824-8264

TELEPHONE: CENTURYLINK
740 STATE ST.
SALEM, OR 97301
(503) 315-9883

FIRE: SALEM FIRE DEPARTMENT
3611 STATE ST.
SALEM, OR 97301
(503) 588-6245

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM STANDARD CONSTRUCTION SPECIFICATIONS AND ANY SPECIAL PROVISIONS INCLUDED AS PART OF THE APPROVED PLANS.

SITE AREA 95,414 SF (2.19 AC.)
DEVELOPED AREA 95,414 SF (2.19 AC.)

BENCH MARK INFORMATION

BENCHMARK: CITY OF SALEM PID: 1016R
STATE ST. AND COMMERCIAL ST. N.E.
N.W. CORNER OF INTERSECTION, ON
MID-RADIUS OF BULBOUT. 22.5' S.E.
OF BUILDING CORNER, 21' EAST OF
TRAFFIC SIGNAL POLE.
ELEVATION=158.81' (NGVD 29)

NOTICE TO EXCAVATORS:
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER.
(NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.

Call the Oregon One-Call Center
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS

NW NATURAL GAS
M-F 7am-6pm 503-226-4211 Ext.4313
AFTER HOURS
PGE
CENTURY LINK
CITY MAINTENANCE 542-
CITY WATER 542-
FRONTIER

MARQUIS NORTH BLOCK
POST ACUTE REHAB
FRONT STREET S.E. &
COMMERCIAL ST. S.E.
CITY OF SALEM, OREGON

COVER SHEET

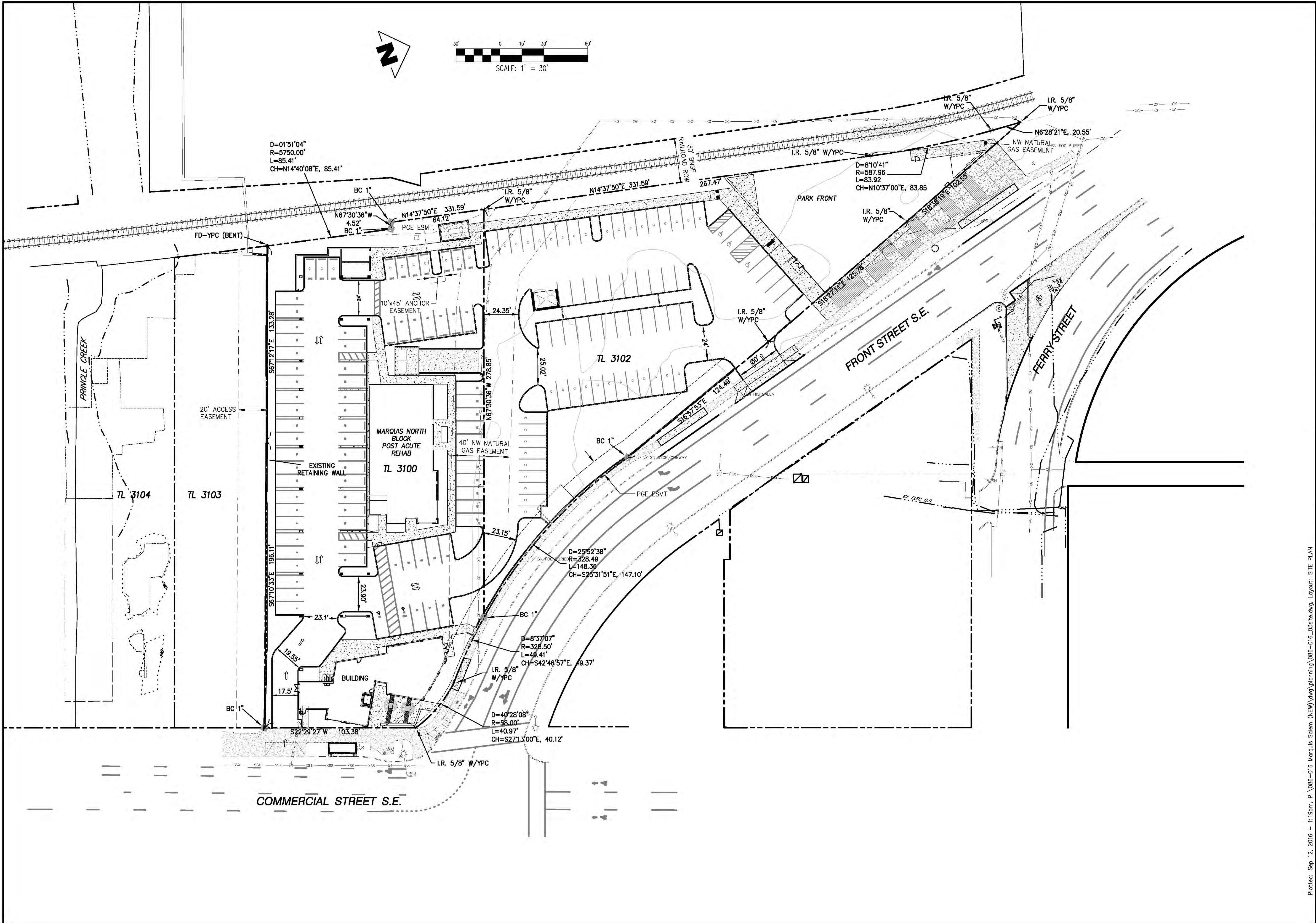
NO.	DATE	REVISIONS	DESCRIPTION

Plotted: Sep 12, 2016 — 11:49am, P:\086-016 Marquis Salem (NEW)\dwg\planning\086-016_016_cov.dwg, Layout: COVER-PLAN

EMERIO
Design
8295 SW NIMBUS AVENUE SUITE 180
BEAVERTON, OREGON 97008
TEL: (503) 746-8812
FAX: (503) 639-9592
www.emeriodesign.com



SHEET
1 OF 6



NO.

DATE

REVISIONS

DESCRIPTION

NO.

DATE

REVISIONS

DESCRIPTION

EMERIO

Design

8265 SW NIMBUS AVENUE SUITE 180

BEAVERTON, OREGON 97008

TEL: (503) 746-8812

FAX: (503) 539-9582

www.emeriodesign.com

REGISTERED PROFESSIONAL

ENGINEER

54665

OREGON

ERIC DANIEL EVANS

EXPIRES: 12/31/2017

SHEET

3

OF

6

MARQUIS NORTH BLOCK

POST ACUTE REHAB

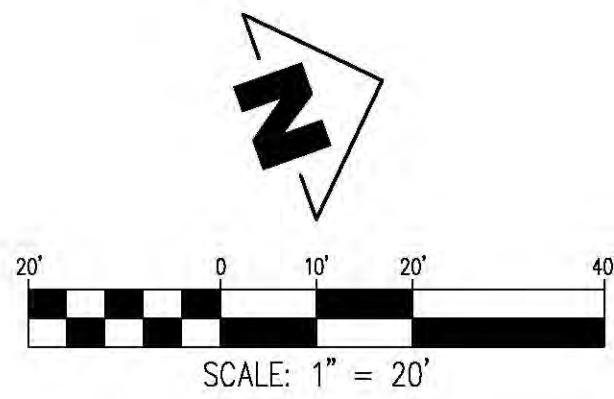
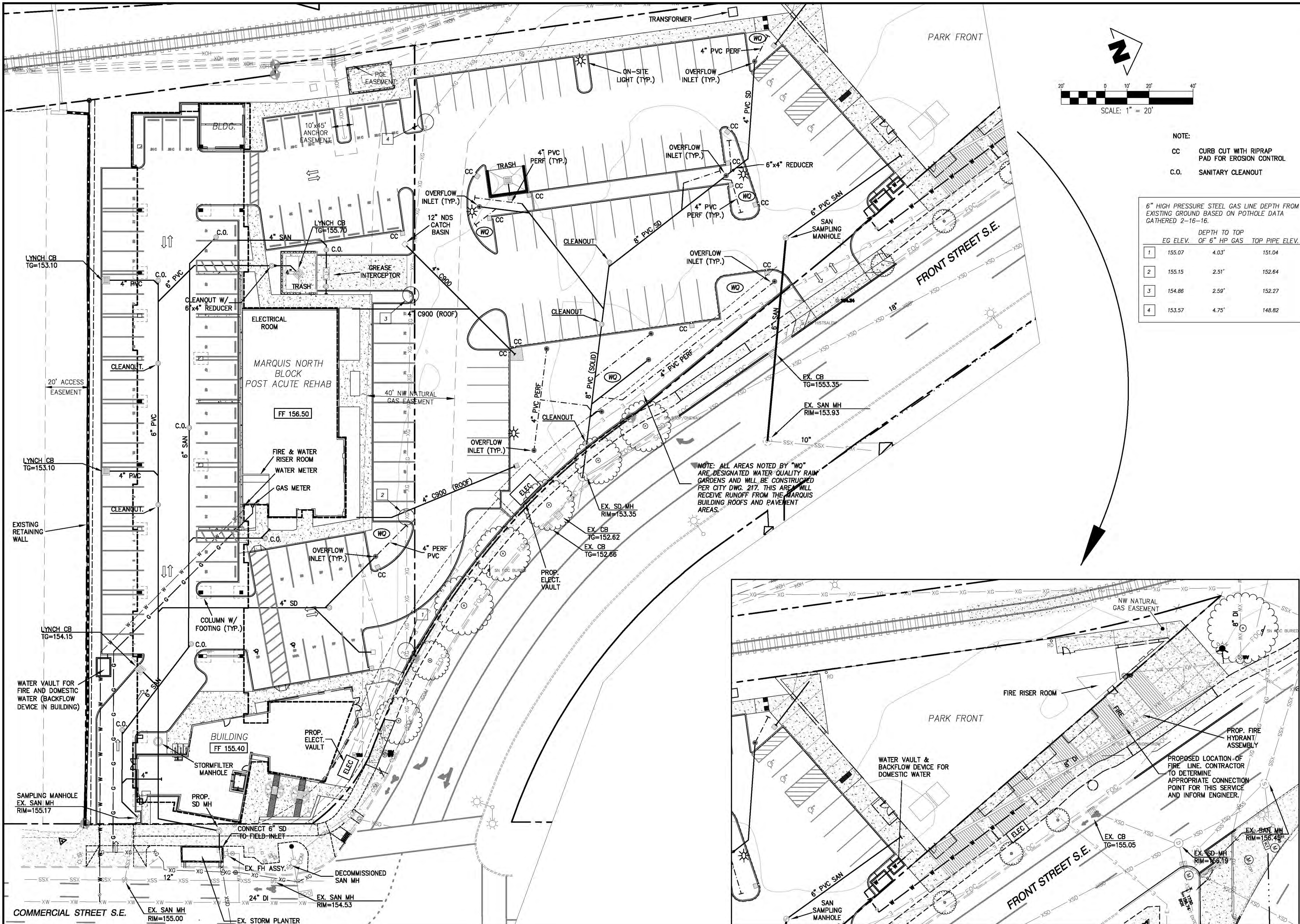
FRONT STREET S.E. &

COMMERCIAL ST. S.E.

CITY OF SALEM, OREGON

EMERIO PROJECT No. 086-016

Plotted: Sep 12, 2016 -- 1:19pm, P:\086-016 Marquis Salem (NEW)\dwg\Planning\086-016_03site.dwg, Layout: SITE PLAN

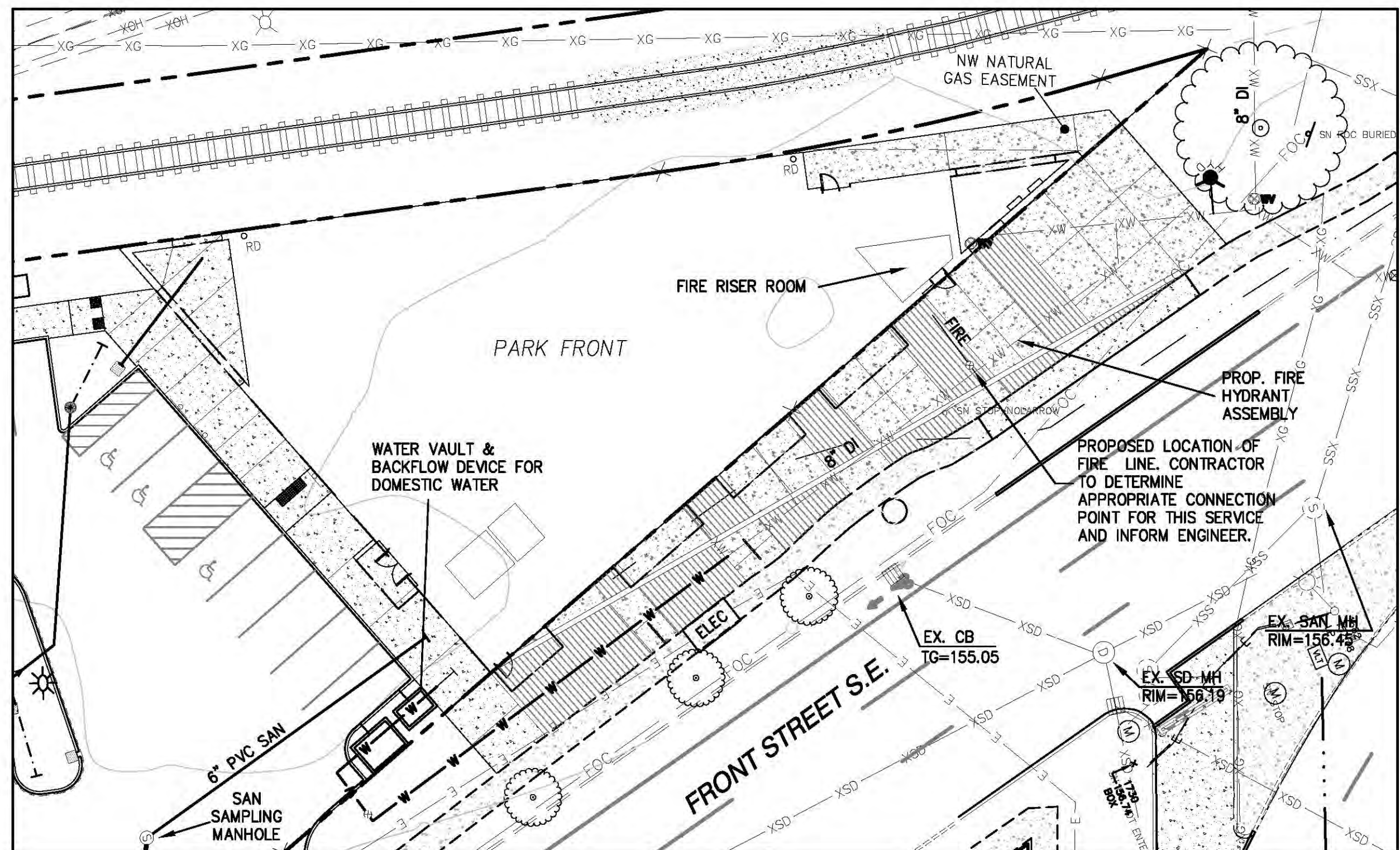


- NOTE:
- CC CURB CUT WITH RIPRAP PAD FOR EROSION CONTROL
 - C.O. SANITARY CLEANOUT

6" HIGH PRESSURE STEEL GAS LINE DEPTH FROM EXISTING GROUND BASED ON POTHOLE DATA GATHERED 2-16-16.

	EG ELEV.	DEPTH TO TOP OF 6" HP GAS	TOP PIPE ELEV.
1	155.07	4.03'	151.04
2	155.15	2.51'	152.64
3	154.86	2.59'	152.27
4	153.57	4.75'	148.82

NOTE: ALL AREAS NOTED BY "WQ" ARE DESIGNATED WATER-QUALITY RAIN GARDENS AND WILL BE CONSTRUCTED PER CITY DWG. 217. THIS AREA WILL RECEIVE RUNOFF FROM THE MARQUIS BUILDING ROOFS AND PAVEMENT AREAS.



MARQUIS NORTH BLOCK
POST ACUTE REHAB
FRONT STREET S.E. &
COMMERCIAL ST. S.E.
CITY OF SALEM, OREGON

COMPOSITE UTILITY PLAN

NO.	DATE	REVISIONS	DESCRIPTION

EMERIO
Design

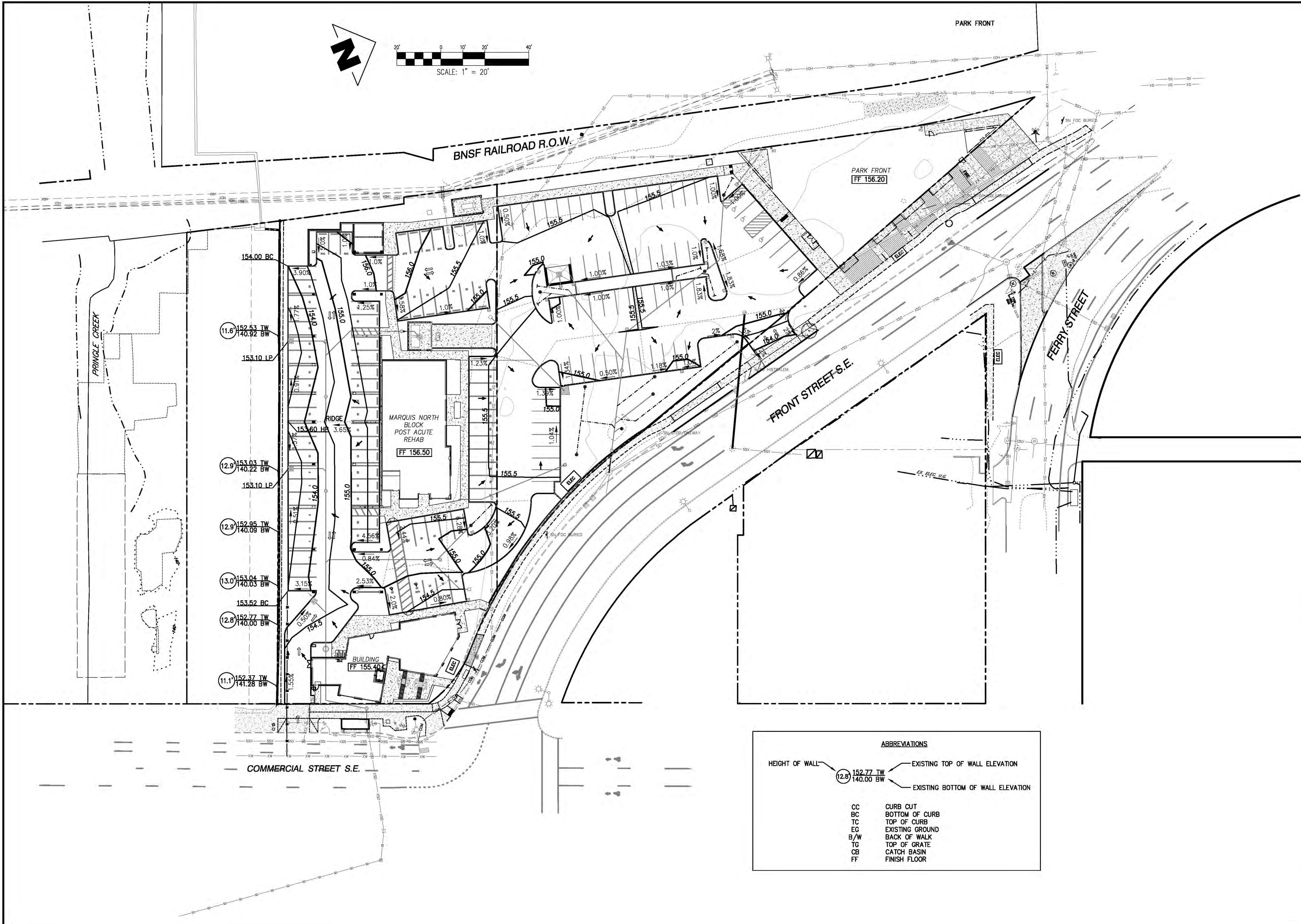
8265 SW NWBULE AVENUE SUITE 180
BEAVERTON, OREGON 97008
TEL: (503) 746-8812
FAX: (503) 539-9562
www.emeriodesign.com

REGISTERED PROFESSIONAL
ENGINEER
54665
OREGON
JULY 11, 2005
ERIC DANIEL EVANS
EXPIRES 12/31/2017

SHEET
4
OF
6

Plotted: Sep 12, 2016 -- 11:52am, P:\086-016 Marquis Salem (NEW)\dwg\planning\086-016_04util.dwg, Layout: UTILITY

EMERIO PROJECT No. 086-016



MARQUIS NORTH BLOCK
POST ACUTE REHAB
FRONT STREET S.E. &
COMMERCIAL ST. S.E
CITY OF SALEM, OREGON

GRADING PLAN

REVISIONS	
NO.	DATE

EMERIO
Design

8265 SW NIMBUS AVENUE SUITE 180
BEAVERTON, OREGON 97008
TEL: (503) 746-8812
FAX: (503) 539-9582
www.emeriodesign.com

REGISTERED PROFESSIONAL
ENGINEER
54665
OREGON
JULY 11, 2006
ERIC DANIEL EVANS
EXPIRES: 12/31/2017

SHEET
5
OF
6

Plotted: Sep 12, 2016 -- 11:53am, P:\086-016 Marquis Salem (NEW)\dwg\planning\086-016_05grad.dwg, Layout: GRADING

EMERIO PROJECT No. 086-016



MEMO

TO: Bryce Bishop, Planner II
Community Development Department

FROM: Glenn J. Davis, PE, CFM, Chief Development Engineer
Public Works Department

DATE: October 10, 2016

SUBJECT: PUBLIC WORKS RECOMMENDATIONS
DR-SPR-SWMUDPP 16-05 (16-114301)
235 FRONT STREET SE
OFFICE BUILDING

RECEIVED

OCT 11 2016

COMMUNITY DEVELOPMENT

PROPOSAL

A consolidated application for a proposed approximate 23,500 square-foot, 4-story, office building on property approximately 1.06 acres in size and located at 235 Front Street SE.

The application includes the following:

1. A Class 3 Design Review and Class 3 Site Plan Review for the proposed development; and
2. A Development Phasing Plan, pursuant to SRC 531.015, to allow the mix of Household Living and Non-Household Living uses required for a development site under the South Waterfront Mixed-Use zone to be met in phases.

The subject property is zoned South Waterfront Mixed-Use and located at 235 Front Street SE (Marion County Assessor Map and Tax Lot Number: 073W27BA03102).

RECOMMENDED CONDITIONS OF APPROVAL

1. Replace existing sidewalks along the frontage of Front Street SE where not conforming to PWDS and close all unused driveways.
2. Provide a Trash Area Management Plan pursuant to Administrative Rule 109-012 Appendix D.

FACTS

Streets

1. Commercial Street SE
 - a. Existing Conditions—This street has an approximate 59-foot improvement within a 96-foot-wide right-of-way abutting the subject property.
 - b. Standard—This street is designated as a Major Arterial street in the Salem TSP. The subject property is located in an area that is identified as a Special Street Right-of-Way and Improvement requirement in the Salem TSP (Table G-1). The standard for this street classification is a 68-foot-wide improvement within a 96-foot-wide right-of-way.
2. Front Street SE—Under the Jurisdiction of Oregon Department of Transportation
 - a. Existing Conditions—This street has an approximate 44-foot improvement within a 70-foot-wide right-of-way abutting the subject property.
 - b. Standard—This street is designated as a Parkway street in the Salem TSP. The subject property is located in an area that is identified as a Special Street Right-of-Way and Improvement requirement in the Salem TSP (Table G-1). The standard for this street classification is a 44-foot-wide improvement within a 70-foot-wide right-of-way.

Storm Drainage

1. Existing Conditions
 - a. A 12-inch storm main is located in Commercial Street SE.
 - b. A 15-inch storm main is located in Front Street SE.

Water

1. Existing Conditions
 - a. The subject property is located in the G-0 water service level.
 - b. A 24-inch water main is located in Commercial Street SE. Mains of this size generally convey flows of 8500 to 19700 gallons per minute.

Sanitary Sewer

1. Existing Conditions
 - a. A 12-inch sewer line is located in Commercial Street SE.

CRITERIA AND FINDINGS

Analysis of the development based on relevant criteria in SRC 220.005(f)(3) is as follows:

Criteria—The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately

Finding—Front Street SE meets the right-of-way width and pavement width standards per the Salem TSP; required street improvements are specified in the conditions of approval consistent with SRC Chapter 803.

The applicant's preliminary landscape plan proposes the installation of raised planters and large boulders inside the public right-of-way. These features may be an encroachment or obstruction pursuant to SRC Chapter 76, warranting approval from the Public Works Director to ensure safety for vehicles and pedestrians. The applicant shall coordinate design of landscape features in the right-of-way with Public Works staff to ensure the proposed features are consistent with the PWDS and compliant with SRC Chapter 76.

Criteria—Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians

Finding—The proposed drive approach onto Front Street SE will be consolidating two existing approaches into a single approach and will provide for safe turning movements into and out of the property. The access onto Front Street SE is within the jurisdiction of the Oregon Department of Transportation and access will be granted through a separate permit from Oregon Department of Transportation.

Criteria—The proposed development will be adequately served with City water, sewer, storm drainage, and other utilities appropriate to the nature of the development

Finding—The Public Works Department has reviewed the applicant's preliminary utility plan for this site. The water, sewer, and storm infrastructure are available within surrounding streets/areas and appear to be adequate to serve the proposed development. The applicant shall design and construct all utilities (sewer, water, and storm drainage) according to the PWDS and to the satisfaction of the Public Works Director. The applicant is advised that a sewer monitoring manhole may be required, and the trash area shall be designed in compliance with Public Works Standards.

The applicant's engineer submitted a statement demonstrating compliance with Stormwater PWDS Appendix 004-E(4)(b) and SRC Chapter 71. The preliminary stormwater design demonstrates the use of green stormwater infrastructure to the maximum extent feasible. The applicant's engineer shall design and construct a storm drainage system at the time of development in compliance with SRC Chapter 71 and PWDS.

The uncovered trash enclosure is subject to a Trash Area Management Plan pursuant to Administrative Rule 109-012 Appendix D.

Prepared by: Nathan Coapstick, Project Coordinator
cc: File

Attachment E

Bryce Bishop - ODOT comments for City of Salem Land Use Case DR-SPR-SWMUDPP16-05 - Park Front

From: JUSTER Gerard P *Gerry <Gerard.P.JUSTER@odot.state.or.us>
To: "Bryce Bishop (bbishop@cityofsalem.net)" <bbishop@cityofsalem.net>, "Ton...
Date: 10/3/2016 3:50 PM
Subject: ODOT comments for City of Salem Land Use Case DR-SPR-SWMUDPP16-05 - Park Front
CC: EARL Robert <Robert.Earl@odot.state.or.us>, DRAKE Ray F <Ray.F.DRAKE@odo...

Dear Bryce,

Thank you for notifying the Oregon Department of Transportation (ODOT) of the consolidated land use application for the Park Front office building development proposal. This e-mail message is submitted for inclusion in the public hearing record and ODOT should be considered a party to the land use action. Please provide a copy of the land use decision, notice of any time extensions or continuances, to ODOT at the address provided below, or you may provide notice to ODOT via e-mail. Electronic format is preferred.

Planning and Development Manager
Oregon Department of Transportation
Region 2 Headquarters
455 Airport Road SE, Building B
Salem, OR 97301-5395

Electronic documents can be directed to:

ODOTR2PLANMGR@ODOT.STATE.OR.US

ODOT staff has completed a review of the submitted application and has the following comments.

The property abuts Front Street, also known as Salem Highway, No. 72, State Route OR-22, and is subject to state laws administered by the Oregon Department of Transportation. These laws may require the applicant to obtain one or more state permits to carry out the intended use of the property, or to otherwise comply with state law without need for a permit. ODOT has reviewed its access permit records and determined there are no existing permits for the connections.

The site associated with the applicant's proposal has two existing connections to OR-22. As such, an existing connection to a state highway permit can be evaluated under OAR [734-051-3020](#), Change of Use of a Private Connection. The purpose of the Change of Use evaluation is to determine if thresholds are met based on a change in the traffic volume or, a demonstrated safety or operational concern exists. If either can be documented by ODOT, the applicant would need to obtain an access permit. Based on ODOT's evaluation of the applicant's proposal per OAR [734-051-3020](#), the applicant would need to submit [An Application for State Highway Approach](#) (access permit application). The application would be subject to review and approval criteria in OAR 734-051. Approval of the application will require construction improvements within state highway right-of-way.

The applicant's site plan indicates there will be a consolidation of the two existing OR-22 connections to a single connection. ODOT concurs with the applicant's access proposal. The applicant has met with ODOT staff for a preapplication conference and subsequently has submitted an access permit application for review and approval. The application is currently being processed. Additionally, ODOT has request civil construction plans for improvements that will need to be constructed within state highway right-of-way. The construction plans will

need to be approved by ODOT prior to the issuance of a permit for construction activities within state highway right-of-way.

Issuance of a building permit for construction activities on the site, will allow the applicant's contractor to utilize the existing Front Street accesses. Because of the high volume and intensity of traffic along Front Street ODOT is recommending the City condition the applicant's contractor to meet with ODOT staff for a preconstruction meeting. The purpose of this meeting is to discuss the best possible way to safely circulate construction oriented traffic to and from the site. Access for large construction vehicles will need to be discussed. ODOT is also recommending access to and from the site occur by utilizing one of the existing Front Street accesses and the existing Commercial Street access. Details of specific turn movements will be determined after the recommended preconstruction meeting. ODOT strongly recommends participation by City of Salem staff at the preconstruction meeting.

Please note, in addition to the access permit, if the applicant or their contractor is required to occupy state highway right-of-way to provide utility improvements resulting from conditions of approval by the City of Salem, [**A Permit To Occupy Or Perform Operations Upon A State Highway**](#) will be necessary. The permit can be obtained by contacting Robert Earl, District 3 Senior Permit Specialist at 503.986.2902. The applicant or their contractor shall obtain the permit 30 calendar days prior to commencing any construction or utility improvements with state highway right-of-way.

If you have any questions please feel free to contact me at 503.986.2732.

Thank you,

Gerry Juster

Development Review Coordinator

Oregon Department of Transportation

855 Airport Rd SE, Bldg. Y | Salem, Oregon 97301

Office: 503.986.2732 | FAX: 503.986.2748

e-mail: gerard.p.juster@odot.state.or.us