

COOPERATIVE IMPROVEMENT AGREEMENT
OR22: Center Street Bridge (Salem), Bridge No. 00123K
City of Salem

THIS AGREEMENT is made and entered into by and between the STATE OF OREGON, acting by and through its Department of Transportation, hereinafter referred to as "State" or "ODOT," and the CITY OF SALEM, acting by and through its elected officials, hereinafter referred to as "Agency," both herein referred to individually or collectively as "Party" or "Parties."

RECITALS

1. Oregon Route 22, Willamina-Salem Highway 30 (OR22), and the Center Street (Willamette River) Bridge, Bridge No. 00123K, are part of the state highway system under the jurisdiction and control of the Oregon Transportation Commission (OTC). OR22 is also known as Center Street within the limits of the project.
2. By the authority granted in Oregon Revised Statutes (ORS) [190.110](#), [366.572](#) and [366.576](#), State may enter into cooperative agreements with counties, cities and units of local governments for the performance of work on certain types of improvement projects with the allocation of costs on terms and conditions mutually agreeable to the contracting parties.
3. State, by ORS [366.220](#), is vested with complete jurisdiction and control over the roadways of other jurisdictions taken for state highway purposes. By the authority granted by ORS 373.020, the jurisdiction extends from curb to curb, or, if there is no regular established curb, then control extends over such portion of the right of way as may be utilized by State for highway purposes. Responsibility for and jurisdiction over all other portions of a city street remains with the Agency.
4. The State is designing and constructing seismic retrofit improvements to the Center Street Bridge to provide connectivity across the Willamette River after a major seismic event in the OR22: Center Street Bridge (Salem) project, hereinafter "Bridge Project." As part of the development and construction of the Bridge Project, State will need to use Agency property and secure various services for the public to ensure successful delivery of State's Bridge Project; and enter into this Agreement for these purposes.
5. Agency understands the importance of the Bridge Project and agrees the elements listed as 'a' through 'f' in Terms of Agreement, Paragraph 1, are necessary for the successful delivery of the Bridge Project.

NOW THEREFORE, the premises being in general as stated in the foregoing Recitals, it is agreed by and between the Parties hereto as follows:

TERMS OF AGREEMENT

1. State is designing and constructing the Bridge Project. Design for the Bridge Project is currently underway with construction estimated to begin in 2026. The following services are necessary for successful delivery of State's Bridge Project, and are hereinafter referred to as "Project":
 - a. Agency shall grant to State a permit to temporarily occupy Agency right of way as shown in Exhibit A, pages 1-5 for activities necessary to deliver the Bridge Project;
 - b. State shall mitigate parking impacts at Riverfront Park as shown in Exhibit B;
 - c. State will pay for Park Ambassadors for Agency's major permitted special events at Riverfront Park, estimated at a total of six (6) annually, to assist attendees and participants, as shown in Exhibit B;
 - d. State will pay for Shuttle Services for Agency events, as listed in 'c' above, and as shown in Exhibit B;
 - e. State agrees to renew the 10-year lease with Agency in 2033 for the parking lot and boat ramp, as shown in Exhibit C, at no cost to Agency; and
 - f. State will perform tree removal at Riverfront Park and Wallace Marine Park as part of the Bridge Project. State will compensate Agency for the damages of said tree removal as shown in Exhibit D, consistent with tree appraisal shown in Exhibit E,

Together elements a through f above are as shown on the maps and exhibits marked Exhibit A – Exhibit E, attached hereto and by this reference made a part hereof.
2. The estimated cost of this Project is \$736,640.00. State is responsible for all costs of the Project services. State and Agency shall share Project maintenance and power costs as set forth in the Agency Obligations and State Obligations sections below.
3. State and Agency agree that State will pay to Agency an amount not to exceed \$736,640 in federal funds, as described in Exhibit B, which shall be payable upon State's execution of the Bridge Project construction contract.
4. This Agreement shall become effective on the date all required signatures are obtained and shall remain in effect until the completion of the Project. The Project

shall be completed within ten (10) calendar years following the date of final execution of this Agreement by both Parties.

AGENCY OBLIGATIONS

1. Through this Agreement, Agency grants State an irrevocable permit to temporarily occupy Agency's real property in the Project area, as shown in Exhibit A, to stage and construct the Project, for the duration of the Project construction period. The State's temporary use of Agency's real property shall not prevent Agency's use of the real property, provided that the Agency's use does not interfere with the rights granted to State in this Agreement. State shall return the Agency's real property to a condition as good or better than the condition of the real property prior to this permit. If Agency regulations require Agency to issue a separate permit to the State, Agency shall issue the described irrevocable permit within 10 days after the effective date of this Agreement.
2. Upon State's execution of the Bridge Project construction contract, Agency shall accept funds in the amount of \$736,640.00 as shown in Exhibit B, for Project .
3. Agency delegates, and State accepts, Agency's authority pursuant to ORS 758.010, ORS 758.025 and all relevant common law, statutes, ordinances, permits, and agreement terms, to cause to be relocated or reconstructed, all privately and publicly owned utility conduits, lines, poles, mains, pipes, and all other such facilities of every kind and nature where such relocation or reconstruction is made necessary by the plans of the Project in order to conform the utilities and other facilities with the plans and the ultimate requirements for the portion of the Project upon lands within Agency's jurisdiction.
4. All employers, including Agency, that employ subject workers, as defined in ORS 656.027, shall comply with ORS 656.017 and shall provide Workers' Compensation insurance coverage for those workers, unless they meet the requirement for an exemption under ORS 656.126(2). The coverage shall include Employer's Liability insurance with coverage limits of not less than \$500,000 each accident. Agency shall ensure that each of its contractors complies with these requirements.
5. Agency shall perform the service under this Agreement as an independent contractor and shall be exclusively responsible for all costs and expenses related to its employment of individuals to perform the work under this Agreement including, but not limited to, retirement contributions, workers' compensation, unemployment taxes, and state and federal income tax withholdings.
6. Agency acknowledges and agrees that State, the Oregon Secretary of State's Office, the federal government, and their duly authorized representatives shall have access to the books, documents, papers, and records of Agency which are directly pertinent to the specific Agreement for the purpose of making audit, examination, excerpts, and

transcripts for a period of six (6) years after final payment (or completion of Project -- if applicable). Copies of applicable records shall be made available upon request. Payment for costs of copies is reimbursable by State.

7. Agency grants State the right to enter onto Agency right of way for the performance of duties as set forth in this Agreement.
8. Agency certifies and represents that the individual(s) signing this Agreement has been authorized to enter into and execute this Agreement on behalf of Agency, under the direction or approval of its governing body, commission, board, officers, members or representatives, and to legally bind Agency.
9. Agency's Project Manager for this Project is Ben Haney, P.E., Engineering Program Manager, City of Salem, Public Works Department, PO Box 14300, Salem, Oregon 97309-1457; telephone: (503) 588-6211 ; email: Bhaney@cityofsalem.net, or assigned designee upon individual's absence. Agency shall notify the other Party in writing of any contact information changes during the term of this Agreement.

STATE OBLIGATIONS

1. State, or its consultant, shall conduct the necessary field surveys, environmental studies, traffic investigations, preliminary engineering and design work required to produce and provide final plans, specifications and cost estimates for the highway Project; identify and obtain all required permits; perform all construction engineering, including all required materials testing and quality documentation; prepare all bid and contract documents; advertise for construction bid proposals; award all contracts; pay all contractor costs, provide technical inspection, project management services and other necessary functions for sole administration of the construction contract entered into for this Project.
2. State agrees to obtain and/or require State's construction contractor to obtain all applicable Agency permits including but not limited to right of way permits and other applicable Agency permits.
3. State shall restore Agency properties to their original condition as a result of Bridge Project impacts except where agreed upon improvements are shown in Exhibit D.
4. Upon State's execution of the Bridge Project construction contract, State shall forward to Agency funds in the amount of \$736,640.00 as described in Exhibit B.
5. State certifies, at the time this Agreement is executed, that sufficient funds are available and authorized for expenditure to finance costs of this Agreement within State's current appropriation or limitation of the current biennial budget.
6. State shall be responsible for all costs associated with construction and installation of the Project.

7. State grants authority to Agency to enter upon State right of way for the construction of this Project as provided in this Agreement upon State approval of Project plans and coordination with State District office.
8. State shall cause to be relocated or reconstructed, all privately or publicly owned utility conduits, lines, poles, mains, pipes, and all other such facilities of every kind and nature where such relocation or reconstruction is made necessary by the plans of the Project in order to conform the utilities and other facilities with the plans and the ultimate requirements for the portions of the Project which are on State and Agency property.
9. State's Construction Project Manager for this Project is Steven Schultz, 3700 SW Philomath Boulevard, Corvallis, Oregon 97333; telephone: Office - (541) 757-4211 or Cell (541) 979-8349; email: Steven.Schultz@odot.oregon.gov, or assigned designee upon individual's absence. State shall notify the other Party in writing of any contact information changes during the term of this Agreement.
10. State's District office contact for this Project is State's District 3 Manager, 885 Airport Road SE, Building P, Salem, Oregon 97301; telephone: (503) 986-2900; or assigned designee upon individual's absence. State shall notify the other Party in writing of any contact information changes during the term of this Agreement.

GENERAL PROVISIONS

1. Americans with Disabilities Act Compliance:

- a. When the Project scope includes work on sidewalks, curb ramps, or pedestrian-activated signals or triggers an obligation to address curb ramps or pedestrian signals, the Parties shall:
 - i. Utilize ODOT standards to assess and ensure Project compliance with Section 504 of the Rehabilitation Act of 1973 and the Americans with Disabilities Act of 1990 as amended (together, "ADA"), including ensuring that all sidewalks, curb ramps, and pedestrian-activated signals meet current ODOT Highway Design Manual standards;
 - ii. Follow ODOT's processes for design, construction, or alteration of sidewalks, curb ramps, and pedestrian-activated signals, including using the ODOT Highway Design Manual, ODOT Design Exception process, ODOT Standard Drawings, ODOT Construction Specifications, providing a temporary pedestrian accessible route plan and current ODOT Curb Ramp Inspection form;
 - iii. At Project completion, send a completed ODOT Curb Ramp Inspection Form 734-5020 to the address on the form as well as to State's Project Manager for each curb ramp constructed or altered as part of the Project. The completed

form is the documentation required to show that each curb ramp meets ODOT standards and is ADA compliant. ODOT's fillable Curb Ramp Inspection Form and instructions are available at the following address:

<https://www.oregon.gov/ODOT/Engineering/Pages/Accessibility.aspx>; and

- b. Agency shall ensure that any portions of the Project under Agency's maintenance jurisdiction are maintained in compliance with the ADA throughout the useful life of the Project. This includes, but is not limited to, Agency ensuring that:
 - i. Pedestrian access is maintained as required by the ADA,
 - ii. Any complaints received by Agency identifying sidewalk, curb ramp, or pedestrian-activated signal safety or access issues are promptly evaluated and addressed,
 - iii. Agency, or abutting property owner, pursuant to local code provisions, performs any repair or removal of obstructions needed to maintain the facility in compliance with the ADA requirements that were in effect at the time the facility was constructed or altered,
 - iv. Any future alteration work on Project or Project features during the useful life of the Project complies with the ADA requirements in effect at the time the future alteration work is performed, and
 - v. Applicable permitting and regulatory actions are consistent with ADA requirements.
 - d. Maintenance obligations in this section shall survive termination of this Agreement.
2. During the term of this Agreement, neither Party may encumber property identified in Exhibits A-F by using Land and Water Conservation Fund Act(54. U.S.C. § 200305(f)(3)) funding to purchase or improve such property. Agency agrees to enter into a future option agreement for a temporary easement on the western portion of the Project area shown in Exhibit F in order to protect the area from future 6(f) encumbrances until all phases of the Bridge Project can be completed.
 3. This Agreement may be terminated by mutual written consent of both Parties.
 4. State may terminate this Agreement effective upon delivery of written notice to Agency, or at such later date as may be established by State, under any of the following conditions:
 - a. If Agency fails to provide services called for by this Agreement within the time specified herein or any extension thereof.

- b. If Agency fails to perform any of the other provisions of this Agreement, or so fails to pursue the work as to endanger performance of this Agreement in accordance with its terms, and after receipt of written notice from State fails to correct such failures within ten (10) days or such longer period as State may authorize.
 - c. If State fails to receive funding, appropriations, limitations or other expenditure authority sufficient to allow State, in the exercise of its reasonable administrative discretion, to continue to make payments for performance of this Agreement.
 - d. If federal or state laws, regulations or guidelines are modified or interpreted in such a way that either the work under this Agreement is prohibited or State is prohibited from paying for such work from the planned funding source.
5. Any termination of this Agreement shall not prejudice any rights or obligations accrued to the Parties prior to termination.
6. If any third party makes any claim or brings any action, suit or proceeding alleging a tort as now or hereafter defined in ORS 30.260 ("Third Party Claim") against State or Agency with respect to which the other Party may have liability, the notified Party must promptly notify the other Party in writing of the Third Party Claim and deliver to the other Party a copy of the claim, process, and all legal pleadings with respect to the Third Party Claim. Each Party is entitled to participate in the defense of a Third Party Claim, and to defend a Third Party Claim with counsel of its own choosing. Receipt by a Party of the notice and copies required in this paragraph and meaningful opportunity for the Party to participate in the investigation, defense and settlement of the Third Party Claim with counsel of its own choosing are conditions precedent to that Party's liability with respect to the Third Party Claim.
7. With respect to a Third Party Claim for which State is jointly liable with Agency(or would be if joined in the Third Party Claim), State shall contribute to the amount of expenses (including attorneys' fees), judgments, fines and amounts paid in settlement actually and reasonably incurred and paid or payable by Agency in such proportion as is appropriate to reflect the relative fault of State on the one hand and of Agency on the other hand in connection with the events which resulted in such expenses, judgments, fines or settlement amounts, as well as any other relevant equitable considerations. The relative fault of State on the one hand and of Agency on the other hand shall be determined by reference to, among other things, the Parties' relative intent, knowledge, access to information and opportunity to correct or prevent the circumstances resulting in such expenses, judgments, fines or settlement amounts. State's contribution amount in any instance is capped to the same extent it would have been capped under Oregon law, including the Oregon Tort Claims Act, ORS 30.260 to 30.300, if State had sole liability in the proceeding.

8. With respect to a Third Party Claim for which Agency is jointly liable with State (or would be if joined in the Third Party Claim), Agency shall contribute to the amount of expenses (including attorneys' fees), judgments, fines and amounts paid in settlement actually and reasonably incurred and paid or payable by State in such proportion as is appropriate to reflect the relative fault of Agency on the one hand and of State on the other hand in connection with the events which resulted in such expenses, judgments, fines or settlement amounts, as well as any other relevant equitable considerations. The relative fault of Agency on the one hand and of State on the other hand shall be determined by reference to, among other things, the Parties' relative intent, knowledge, access to information and opportunity to correct or prevent the circumstances resulting in such expenses, judgments, fines or settlement amounts. Agency's contribution amount in any instance is capped to the same extent it would have been capped under Oregon law, including the Oregon Tort Claims Act, ORS 30.260 to 30.300, if it had sole liability in the proceeding.
9. State and Agency shall attempt in good faith to resolve any dispute arising out of this Agreement. In addition, State and Agency may agree to utilize a jointly selected mediator or arbitrator (for non-binding arbitration) to resolve the dispute short of litigation.
10. If Agency fails to maintain facilities in accordance with the terms of this Agreement, State, at its option, may maintain the facility and bill Agency, seek an injunction to enforce the duties and obligations of this Agreement or take any other action allowed by law.
11. This Agreement may be executed in several counterparts (facsimile or otherwise) all of which when taken together shall constitute one agreement binding on all Parties, notwithstanding that all Parties are not signatories to the same counterpart. Each copy of this Agreement so executed shall constitute an original.
12. This Agreement and attached exhibits constitute the entire agreement between the Parties on the subject matter hereof. There are no understandings, agreements, or representations, oral or written, not specified herein regarding this Agreement. No waiver, consent, modification or change of terms of this Agreement shall bind either Party unless in writing and signed by both Parties and all necessary approvals have been obtained. Such waiver, consent, modification or change, if made, shall be effective only in the specific instance and for the specific purpose given. The failure of State to enforce any provision of this Agreement shall not constitute a waiver by State of that or any other provision.
13. Electronic Signatures. The Parties agree that signatures showing on PDF documents, including but not limited to PDF copies of the Agreement and amendments, submitted or exchanged via email are "Electronic Signatures" under ORS Chapter 84 and bind the signing Party and are intended to be and can be relied upon by the Parties. State reserves the right at any time to require the submission of the hard copy originals of any documents.

THE PARTIES, by execution of this Agreement, hereby acknowledge that their signing representatives have read this Agreement, understand it, and agree to be bound by its terms and conditions.

This Project is in the 2024-2027 Statewide Transportation Improvement Program (STIP), (Key # 21705) that was adopted by the Oregon Transportation Commission on July 13, 2023 (or subsequently by amendment to the STIP).

CITY OF SALEM, by and through its designated officials

By _____
Title:

Date _____

By _____
Title:

Date _____

LEGAL REVIEW APPROVAL (If required in Agency's process)

By _____
Agency Counsel

Date _____

Agency Contact:

Ben Haney, PE
Engineering Program Manager
City of Salem | Public Works Department
555 Liberty St SE, Suite 325,
Salem OR 97301-3513
Bhaney@cityofsalem.net

State Contact:

Andrew Walker, Project Manager
ODOT, Region 2
455 Airport Road SE, Building B
Salem, Oregon 97301
(503) 949-5301
Andrew.J.Walker@odot.oregon.gov

STATE OF OREGON, by and through its Department of Transportation

By _____
Region 2 Manager

Date _____

APPROVAL RECOMMENDED

By _____
State Bridge Engineer

Date _____

By _____
State Traffic Engineer

Date _____

By _____
State Right of Way Manager

Date _____

By _____
Region 2 Right of Way Manager

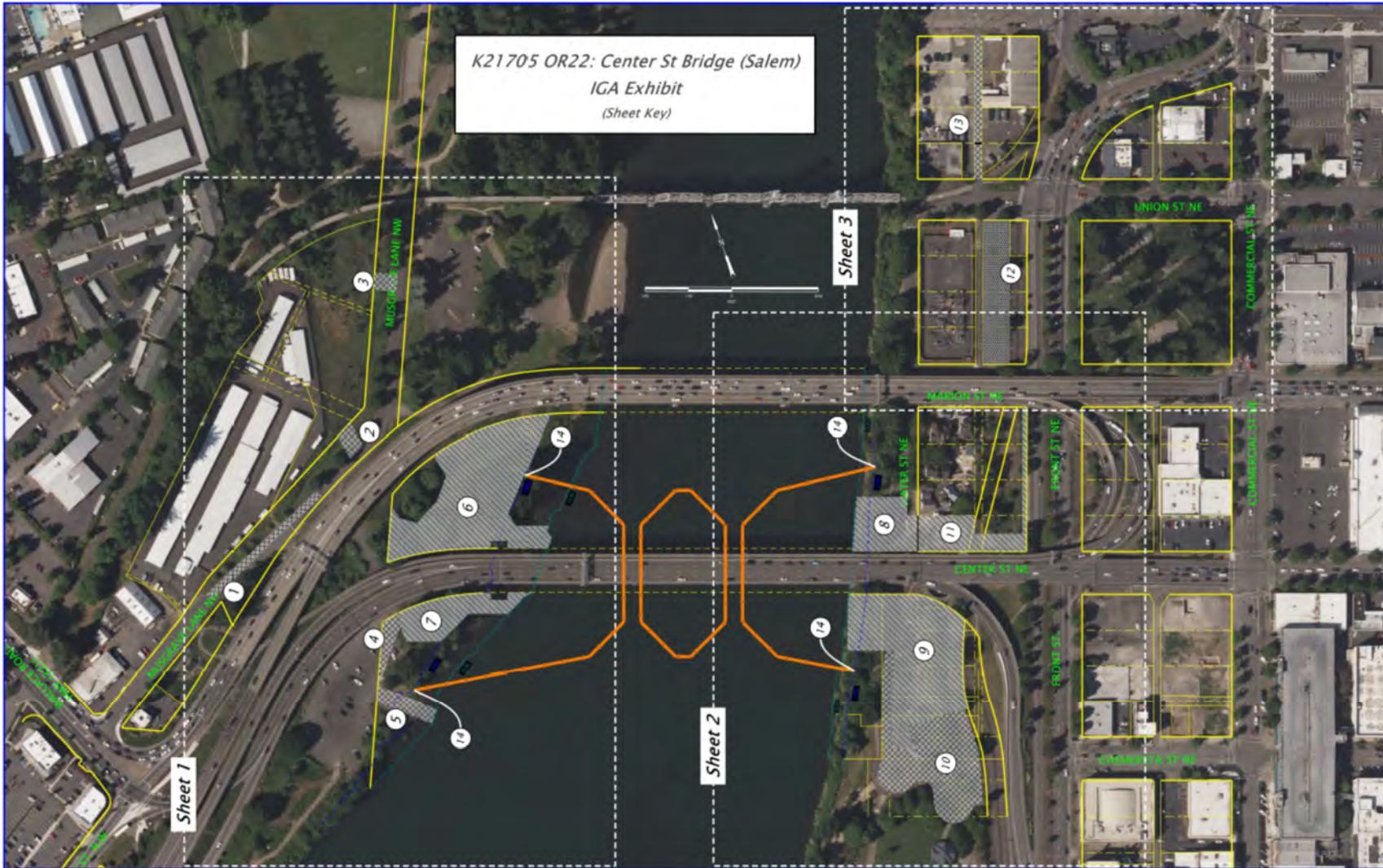
Date _____

APPROVED AS TO LEGAL SUFFICIENCY

By Karen Clevering, via email
Assistant Attorney General

Date 11/18/2025 email retained in file

EXHIBIT A – Project Location Map, Page 1



Key No. 21705
04-08-22

Exhibit A, Page 2

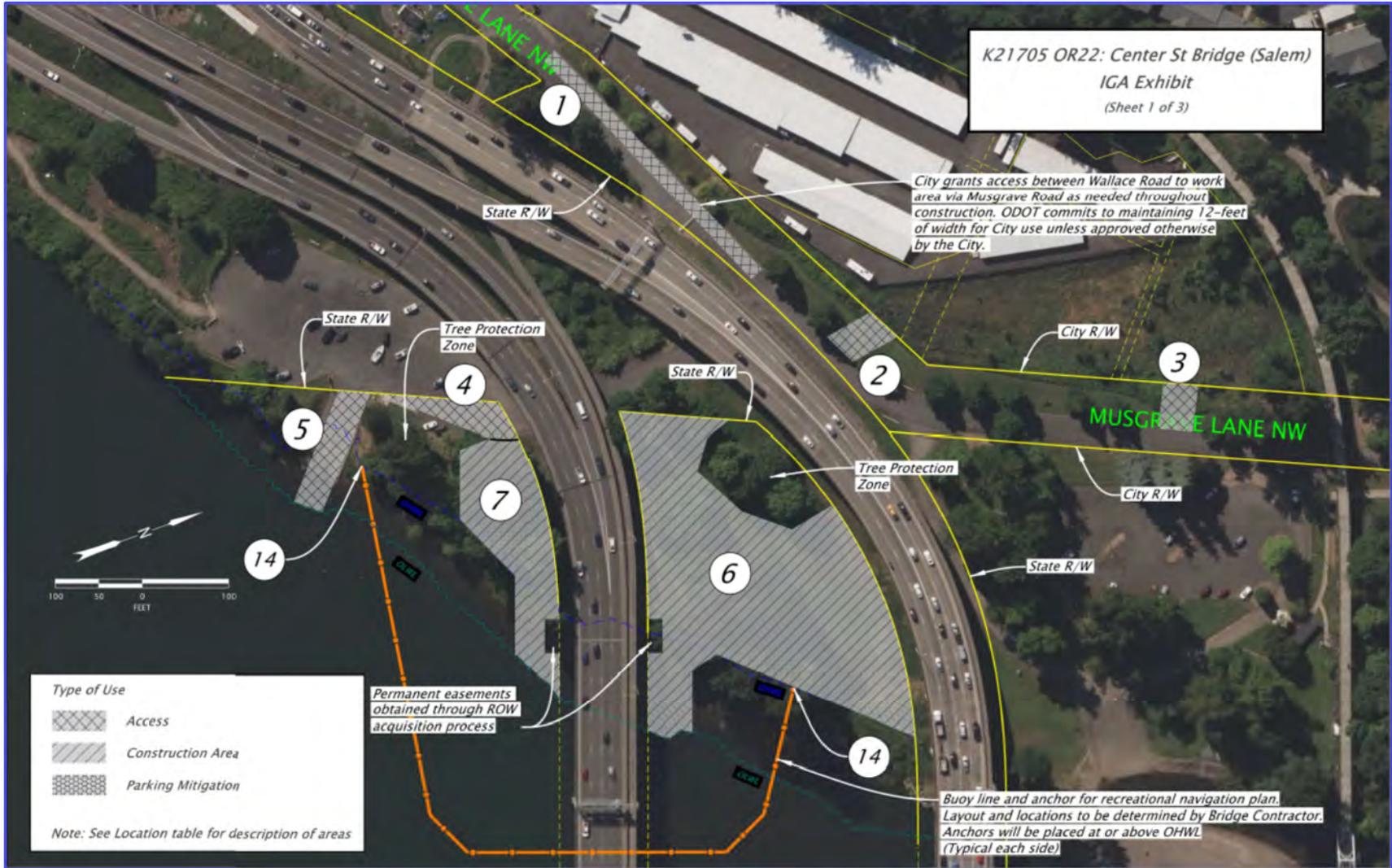


Exhibit A, Page 4

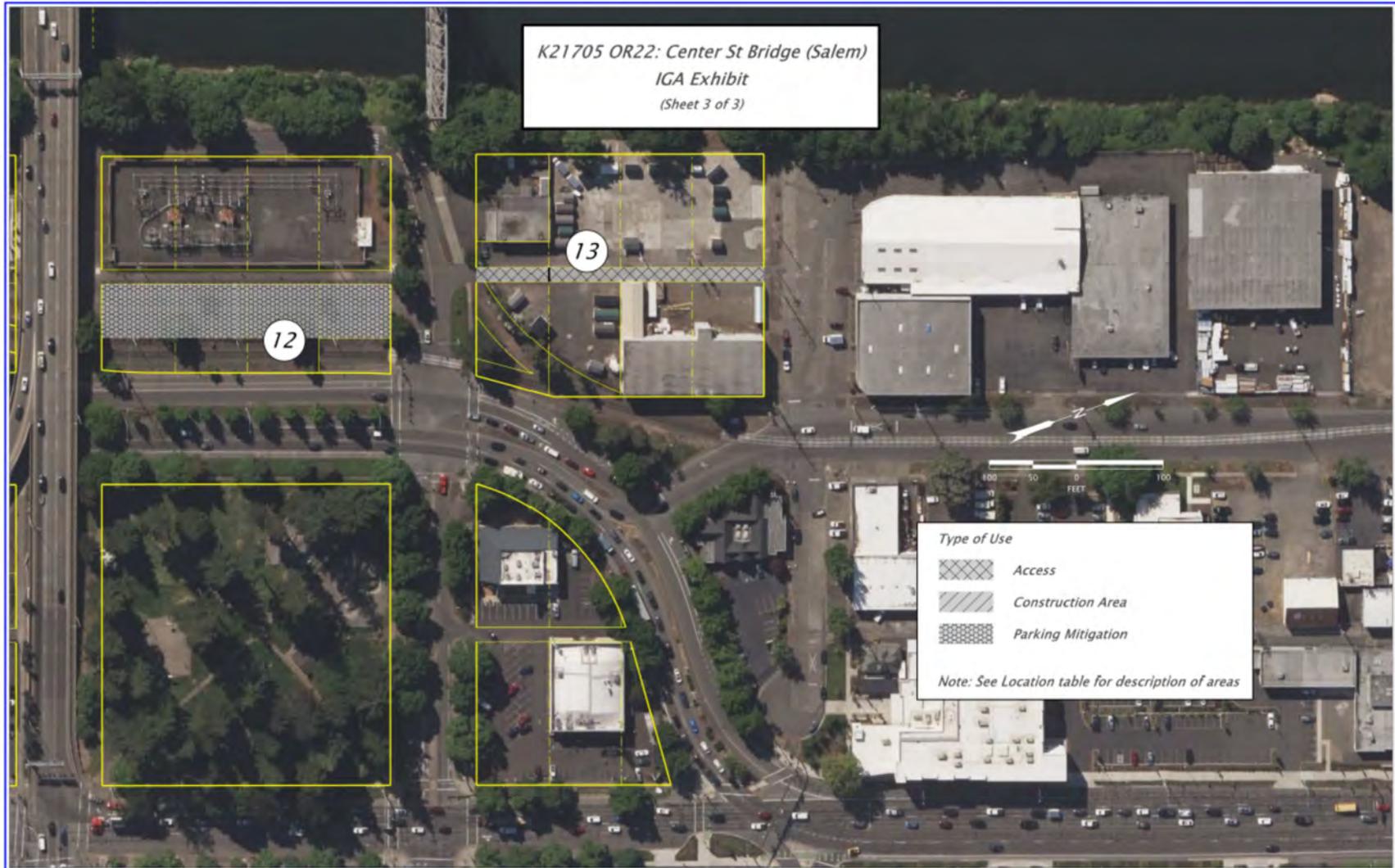


Exhibit A, Page 5
 Exhibit A, pages 1-4 numbering information

Bubble	IGA Exhibit #	Area (sq ft)	Use **	Description **
1	1 of 3	5,846	Access	Contractor will be allowed to use area for access only and to protect trees or reconstruct construction areas. The only work permitted in this area will be as required by Oregon Standard Specifications for Construction (OSSC) Section 00170.82 for the Contractor to restore any portions damaged by Contractor operations.
2	1 of 3	1,515	Access	Contractor will be allowed to use area for access only and to protect trees or reconstruct construction areas. The only work permitted in this area will be as required by OSSC Section 00170.82 for the Contractor to restore any portions damaged by Contractor operations.
3	1 of 3	1,945	Access	Contractor will be allowed to use area for access only and to protect trees or reconstruct construction areas. The only work permitted in this area will be as required by OSSC Section 00170.82 for the Contractor to restore any portions damaged by Contractor operations.
4	1 of 3	3,732	Access	Contractor will be allowed to use area for access only and to protect trees or reconstruct construction areas. The only work permitted in this area will be as required by OSSC Section 00170.82 for the Contractor to restore any portions damaged by Contractor operations.
5	1 of 3	4,999	Access	Boat ramp will remain open to public. Contractor will be allowed to use the boat ramp for periodic river access to load/unload equipment, like general public use. ODOT will not improve area. The only work permitted in this area will be as required by OSSC Section 00170.82 for the Contractor to restore any portions damaged by Contractor operations.
6	1 of 3	67,551	Construction Area	Contractor will be allowed to use area for construction and will restore area per contract plans and specifications.
7	1 of 3	17,489	Construction Area	Contractor will be allowed to use area for construction and will restore area per contract plans and specifications.
8	2 of 3	17,479	Construction Area	Contractor will be allowed to use area for construction and will restore area per contract plans and specifications.
9	2 of 3	61,131	Construction Area	Contractor will be allowed to use area for construction and will restore area per contract plans and specifications.
10	2 of 3	43,910	Access	Contractor will be allowed to use area for access only and to protect trees or reconstruct construction areas. The only work permitted in this area will be as required by OSSC Section 00170.82 for the Contractor to restore any portions damaged by Contractor operations.
11	2 of 3	18,750	Construction Area	Contractor will be allowed to use area for construction and will restore area per contract plans and specifications.
12	3 of 3	20,812	Parking Mitigation	ODOT is compensating the City to use this lot as parking mitigation. The compensation is outlined elsewhere in this IGA.
13	3 of 3	5,445	Access	Contractor will be allowed to use area for access only. The only work permitted in this area will be as required by OSSC Section 00170.82 for the Contractor to restore any portions damaged by Contractor operations.
14	1, 2 of 3	100	Construction Area	Contractor will be allowed to use area for construction and will restore area per contract plans and specifications.

** Duration: City grants use of Construction and Access areas as described above from ODOT issuance of bridge contractor NTP to issuance of 3rd note.

Exhibit B

Item No.	Project Feature or Consideration	Description	Cost
1	Monetary compensation for loss of removed trees based on appraisal	See tree appraisal spreadsheet, Exhibit E	\$ 663,000
2	Monetary credit for replanting of trees	\$86,400 for trees and ~\$310,800 for soil cells	\$ (397,200)
3	Provide Park Ambassadors for large events (6 days per year)	<i>4 years x 6 event-days/year x 8 ambassadors x \$25/hour x 8 hours</i>	\$ 38,400
4	Provide Shuttles for large events (6 days per year)	<i>4 years x 6 event-days/year x 1 shuttle x \$2,500/day</i>	\$ 60,000
5	PGE Lot Parking - Permit Spaces	25 parking spots x 4 years x \$20/mo	\$ 24,000
6	PGE Lot Parking - Metered Spaces	41 parking spots x 4 years x \$150/mo	\$ 295,200
7	Riverfront Permit Spaces	44 parking spots x 4 years x \$20/mo	\$ 42,240
8	Marion Parkade Day Permits (for 6 big events)	55 parking spots x 40 days x \$5/day	\$ 11,000
9	Temporary use of City property permission	Four years of use in Locations 1 through 13 on IGA exhibits. City has agreed costs and impacts are covered in previous mitigations.	\$ -
		TOTAL	\$ 736,640

Exhibit C



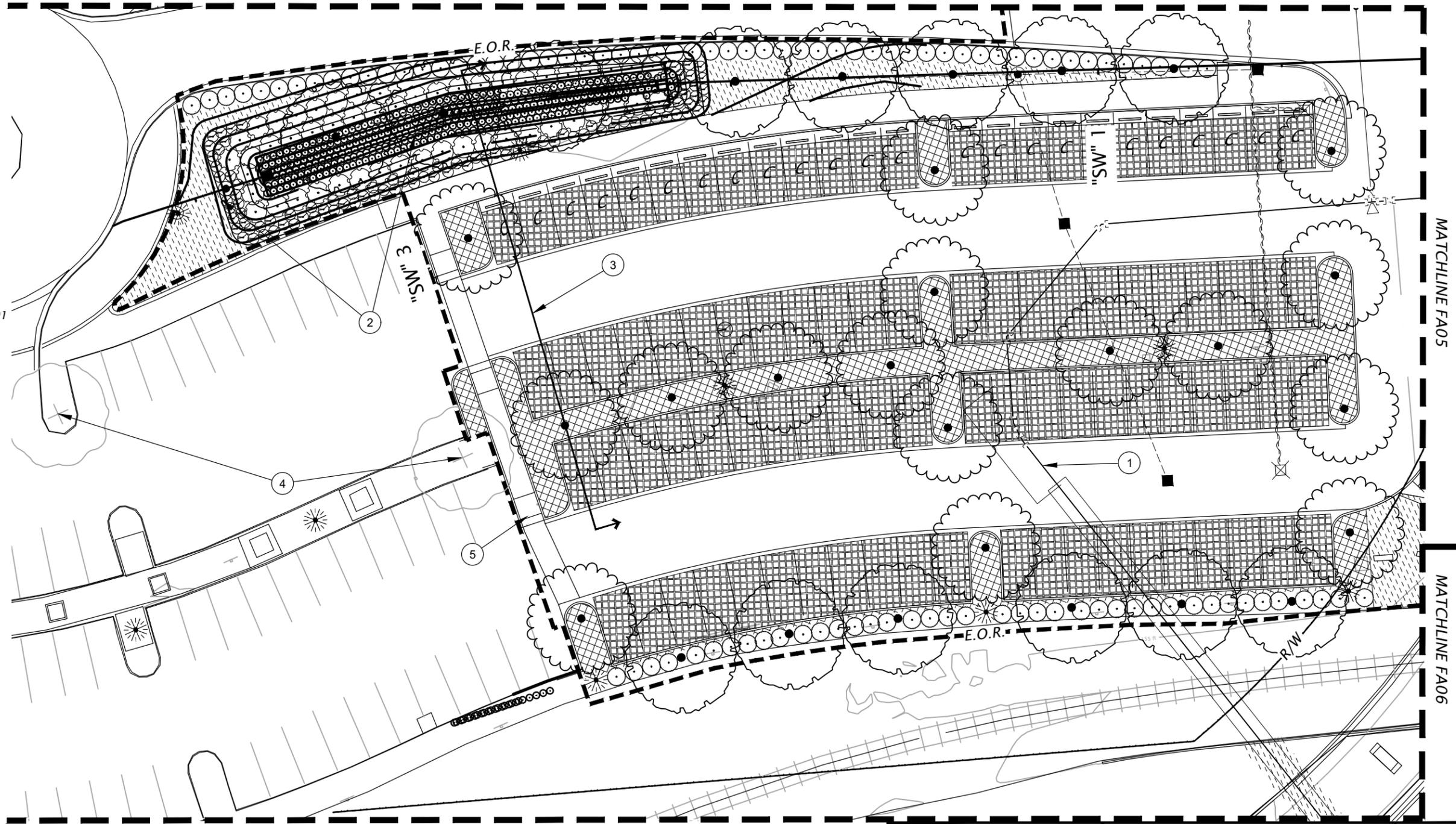
Sec. 22, T. 07 S., R. 03 W., W.M.
 City of Salem

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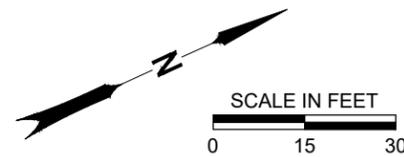
- LEGEND:**
- E.O.R.--- Extent of Revegetation
 - R/W----- ODOT Right-of-Way
 - P.E.— Permanent Easement
 - T.E.— Temporary Easement
 -  Bark mulch at 4" depth
 -  Parking lot planting area
 -  Soil Cell / Unit Paving Area

- KEY NOTES:**
- ① New water line, see Utility Plans.
 - ② New stormwater treatment facility - See HA01
 - ③ Section | Elevation enlargement - See FA12.
 - ④ Existing tree to protect, see Tree Plans.
 - ⑤ New pedestrian crosswalk See Roadway Plans.

- PLANTING NOTES:**
1. For planting species, quantities, size and spacing, refer to Planting Schedules, sheet FA09.
 2. No proposed tree planting within 25 feet of overhead bridge structure.



MATCHLINE FA07



ADVANCE COPY
 Subject to Change

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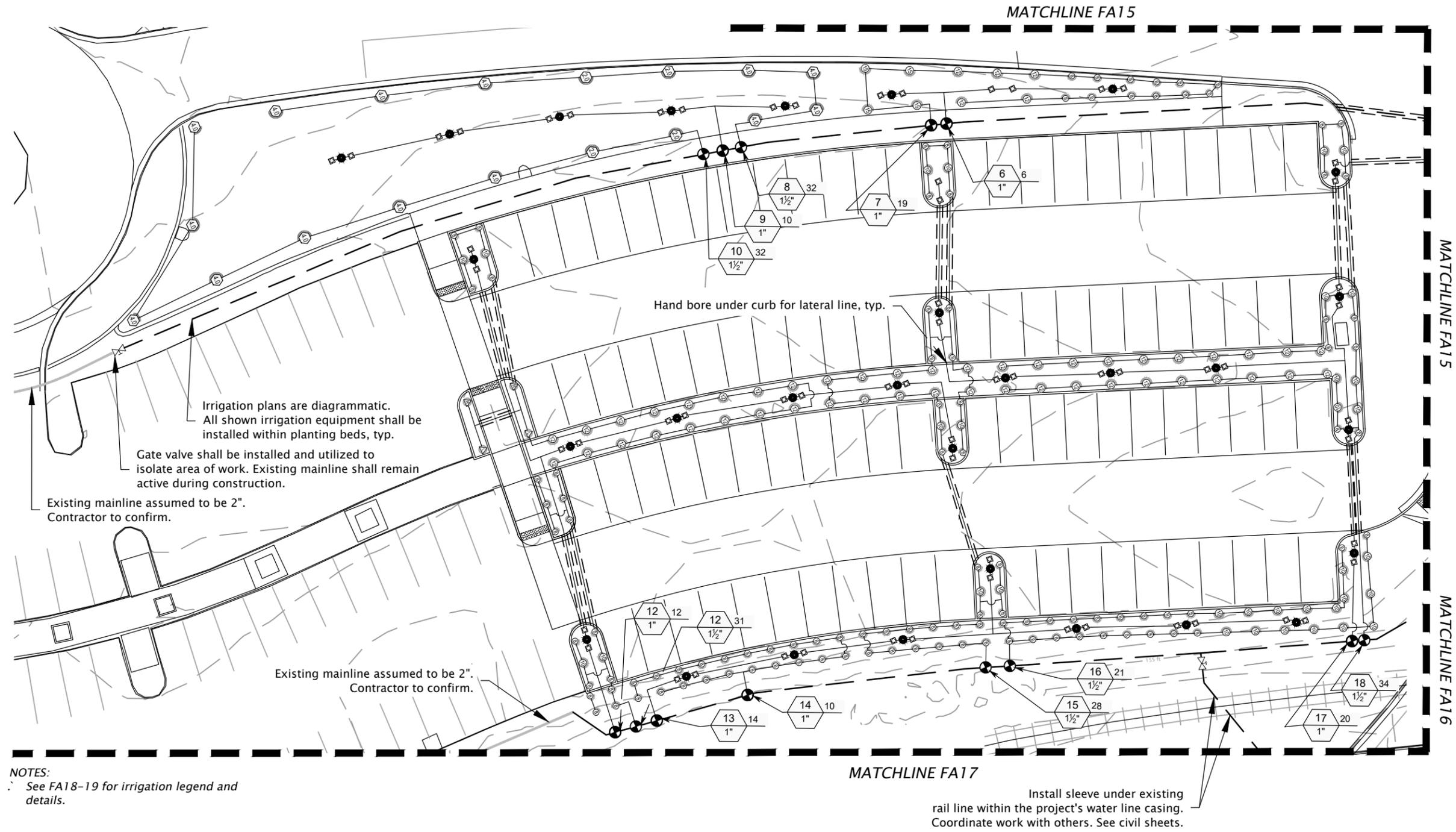


OR22: CENTER ST BRIDGE (SALEM) PROJECT
 WILLAMINA-SALEM HIGHWAY
 MARION & POLK COUNTIES

Designer: Grace Youngblood, LD Reviewer: Bob Goodrich, PE
 Drafter: Grace Youngblood, LD Checker: Colleen Wolfe, PLA

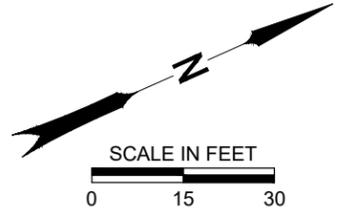
PLANTING PLAN - RIVERFRONT PARK SOUTH

SHEET NO.
 FA04



NOTES:
 See FA18-19 for irrigation legend and details.

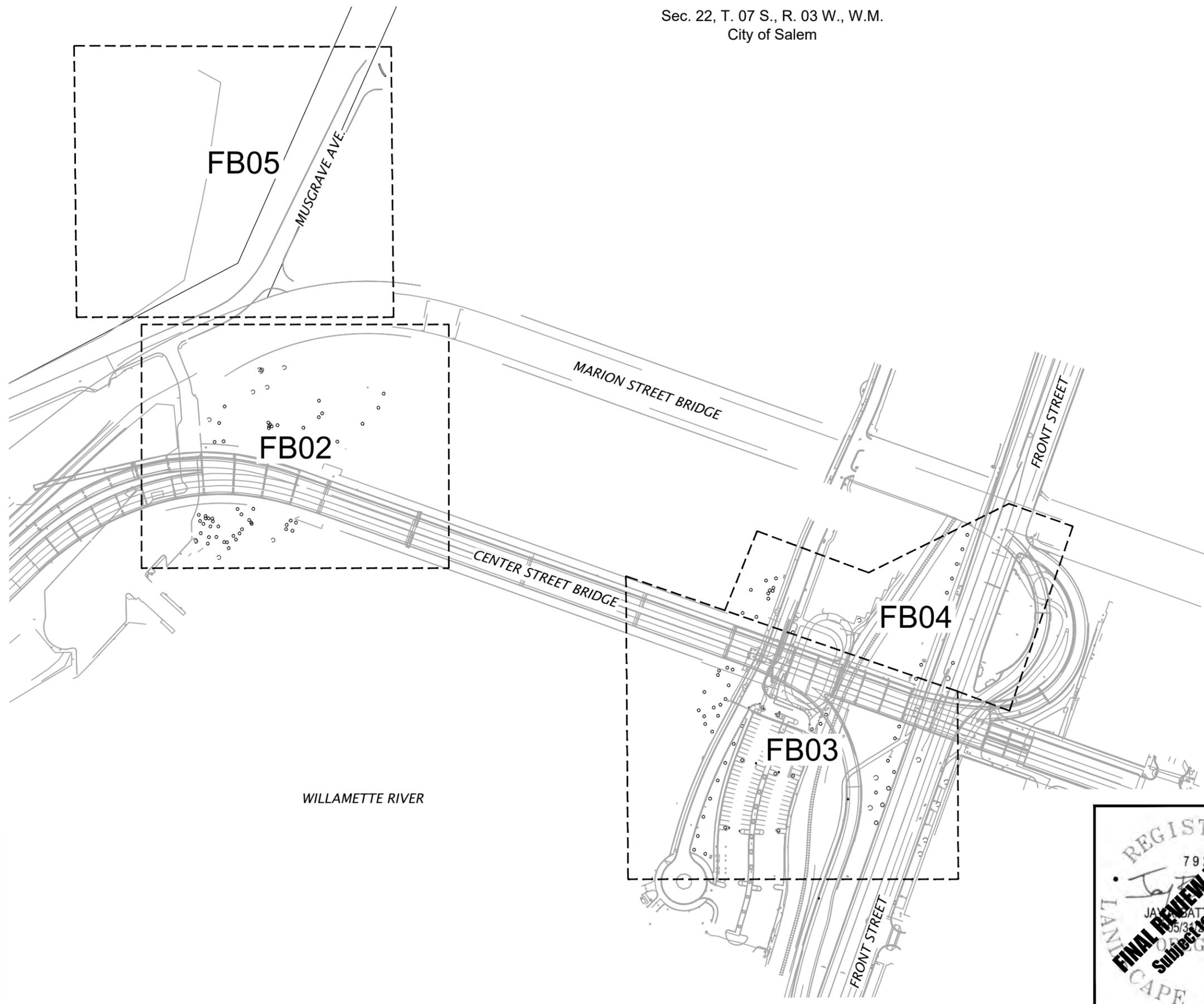
Install sleeve under existing rail line within the project's water line casing. Coordinate work with others. See civil sheets.



<p>ADVANCE COPY Subject to Change</p>	 <p>DOWL <small>WWW.DOWL.COM</small></p>	
	<p>OR22: CENTER ST BRIDGE (SALEM) PROJECT WILLAMINA-SALEM HIGHWAY MARION & POLK COUNTIES</p>	
	<p>Designer: Jay Battleson, PLA Drafter: Grace Youngblood, LD</p>	<p>Reviewer: Bob Goodrich, PE Checker: Colleen Wolfe, PLA</p>

Sec. 22, T. 07 S., R. 03 W., W.M.
City of Salem

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- FB01 - TREE PLAN - SHEET KEY
- FB02 - TREE PLAN - WALLACE MARINE PARK
- FB03 - TREE PLAN - RIVERFRONT PARK & FRONT STREET SOUTH
- FB04 - TREE PLAN - RIVERFRONT PARK & FRONT STREET NORTH
- FB05 - TREE PLAN - MUSGRAVE AVENUE
- FB06 - TREE PROTECTION & REMOVAL TABLES
- FB07 - TREE PLAN REQUIREMENTS & PROTECTION

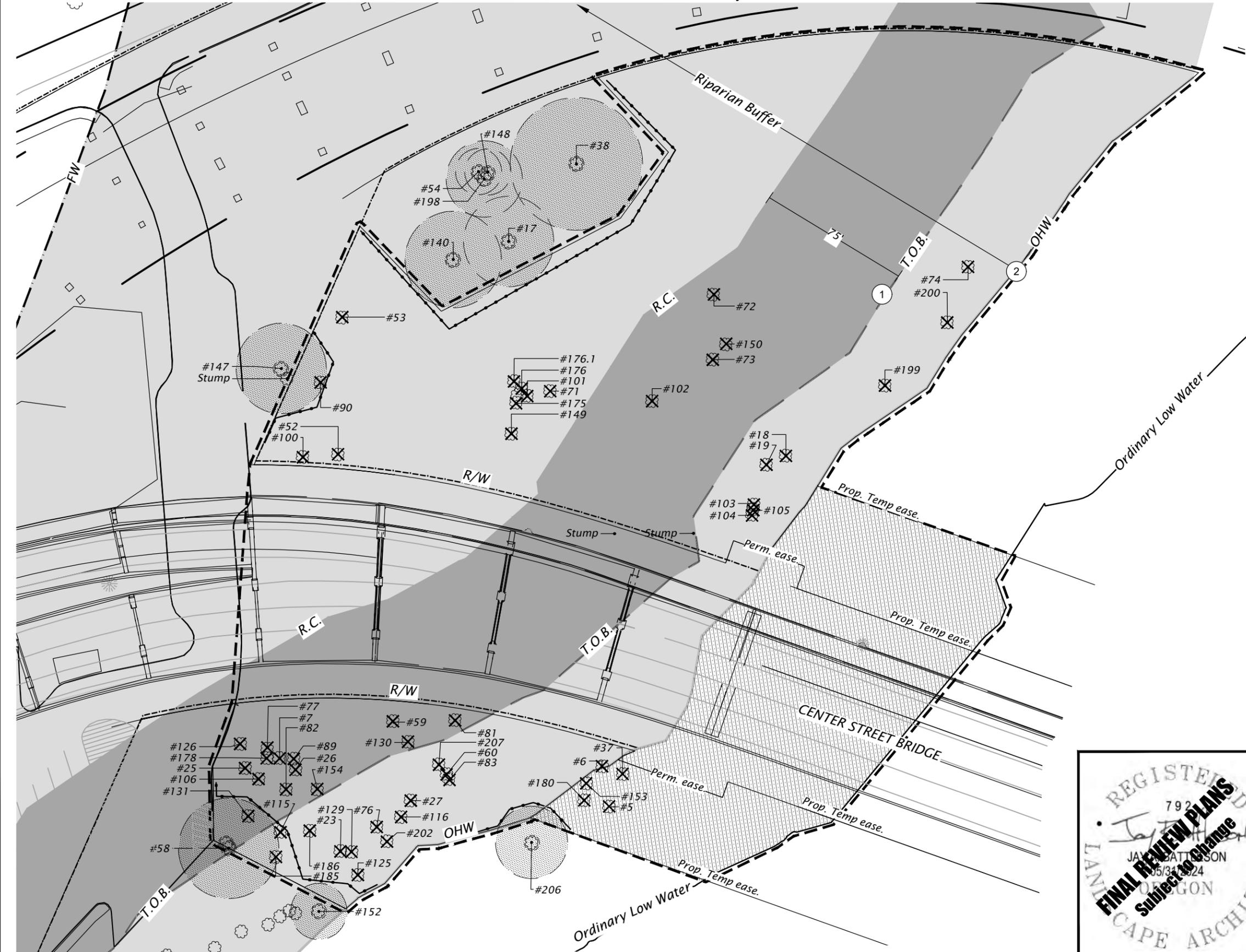
WILLAMETTE RIVER



 DOWL <small>WWW.DOWL.COM</small>		
OR22: CENTER ST BRIDGE (SALEM) PROJECT WILLAMINA-SALEM HIGHWAY MARION & POLK COUNTIES		
<small>Designer: Grace Youngblood, LD</small> <small>Drafter: Grace Youngblood, LD</small>	<small>Reviewer: Bob Goodrich, PE</small> <small>Checker: Jay Battleson, PLA</small>	<small>SHEET NO.</small> FB01
TREE PLAN - SHEET KEY		

Sec. 22, T. 07 S., R. 03 W., W.M.
 City of Salem

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LEGEND:

- L.O.W. — Limit of Work
- O.H.W. — Approx. Ordinary High Water line
- T.O.B. — Approximate Top of Bank line
- P.E. — Permanent Easement
- T.E. — Temporary Easement
- Revegetation Area Below OHW
- R.B. Riparian Buffer
- R.C. Riparian Corridor
- FW FEMA 100 Year Floodway
- #XX Existing tree to be removed
- #XX Tree or tree massing to protect
- Tree protection fencing
- Tree protection area at root zone

Refer to tree codes & tables on sheets FB06 - FB07.

KEY NOTES:

- ① Riparian Corridor measured 75 feet horizontally from the Top of Bank (T.O.B.) on each side of the waterway.
- ② Floodway is greater than 75 feet, therefore Riparian Buffer goes to the extent of the floodway, measured from Ordinary High Water line.

SCALE IN FEET

0 25 50

REGISTERS
 792
 JAY BATTLESON
 05/31/24
 OREGON
 ARCHITECT

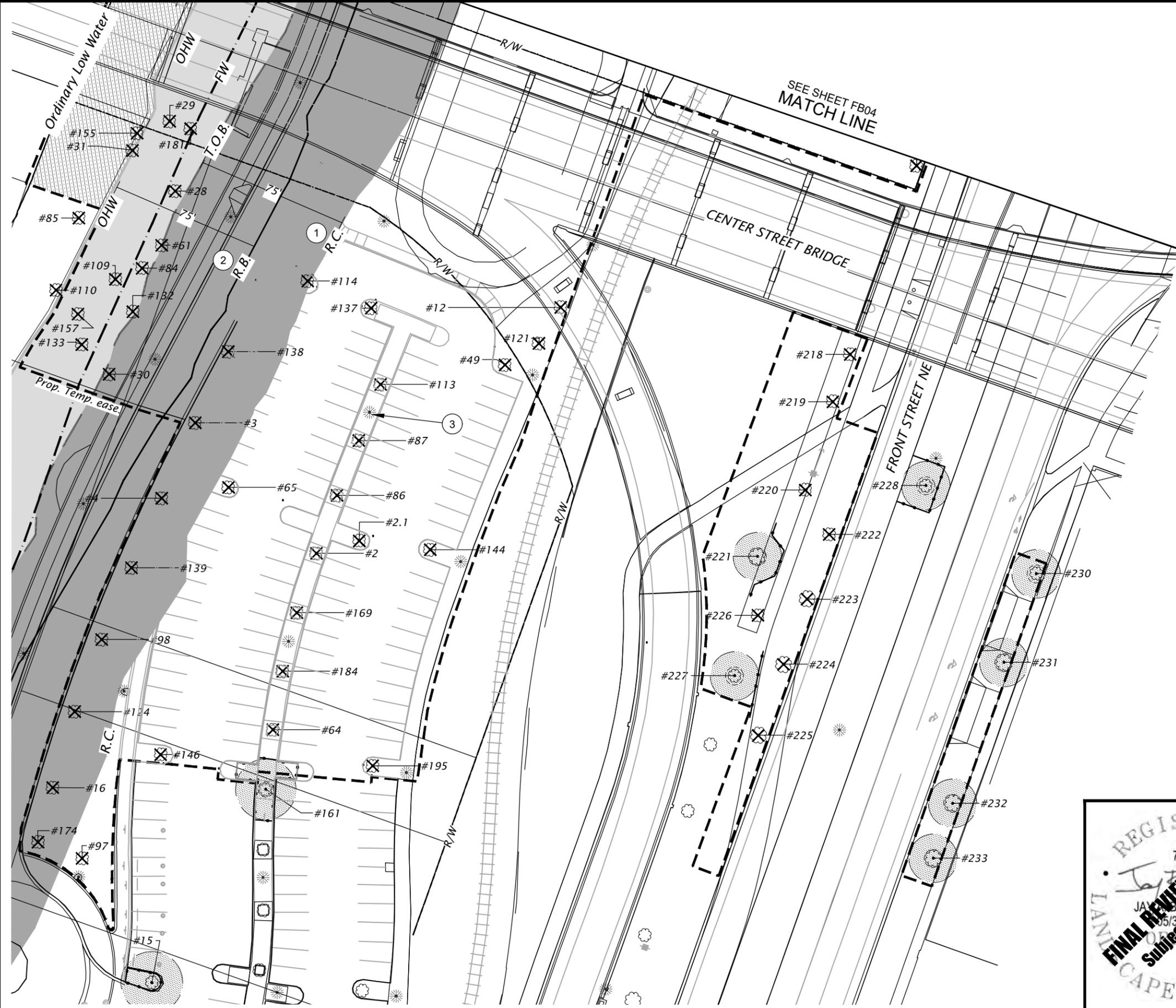
FINAL REVIEW PLANS
 Subject to change

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OR22: CENTER ST BRIDGE (SALEM) PROJECT
 WILLAMINA-SALEM HIGHWAY
 MARION & POLK COUNTIES

Designer: Grace Youngblood, LD Reviewer: Bob Goodrich, PE
 Drafter: Grace Youngblood, LD Checker: Jay Battleson, PLA

TREE PLAN - WALLACE MARINE PARK SHEET NO. FB02



LEGEND:

- L.O.W. — Limit of Work
- O.H.W. — Approx. Ordinary High Water line
- T.O.B. — Approximate Top of Bank line
- R/W --- ODOT Right-of-Way
- P.E. — Permanent Easement
- T.E. — Temporary Easement
- Revegetation Area Below OHW
- R.B. Riparian Buffer
- R.C. Riparian Corridor
- FW FEMA 100 Year Floodway
- #XX Existing tree to be removed
- #XX Tree or tree massing to protect
- Tree protection fencing
- Tree protection area at root zone

Refer to tree codes & tables on sheets FB06 - FB07.

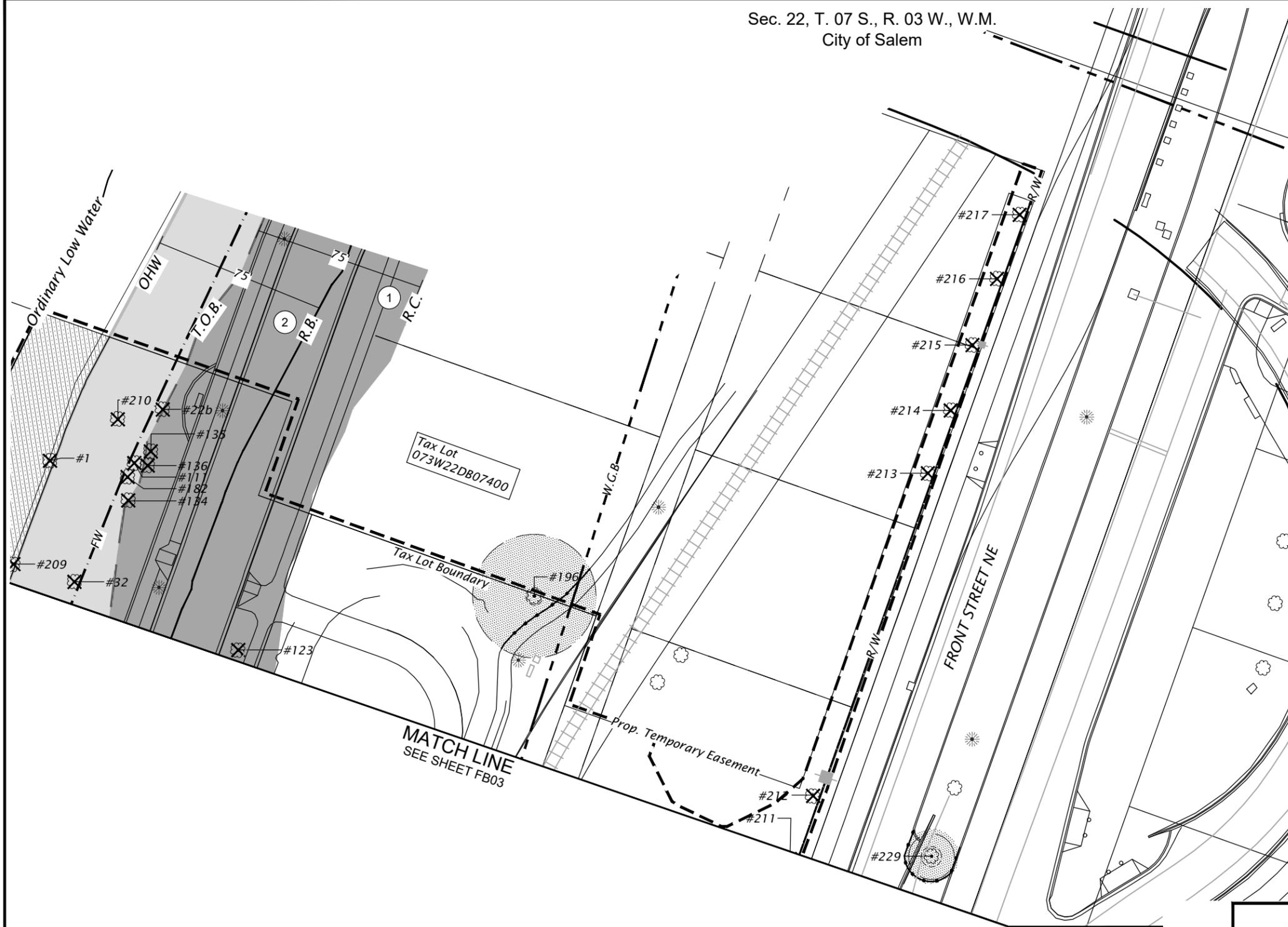
KEY NOTES:

- ① Riparian Corridor measured 75 feet horizontally from the Top of Bank (T.O.B) on each side of the waterway.
- ② Riparian Buffer measured 75' from Ordinary High Water in this location.
- ③ Existing light to be salvaged and reinstalled, see Illumination Plans.



 WWW.DOWL.COM		
OR22: CENTER ST BRIDGE (SALEM) PROJECT WILLAMINA-SALEM HIGHWAY MARION & POLK COUNTIES		
Designer: Grace Youngblood, LD Drafter: Grace Youngblood, LD	Reviewer: Bob Goodrich, PE Checker: Jay Battleson, PLA	SHEET NO. FB03
TREE PLAN - RIVERFRONT PARK & FRONT STREET SOUTH		

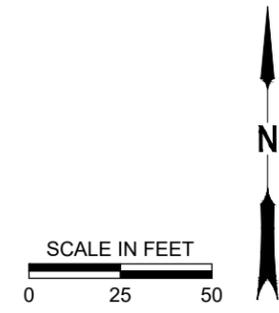
Sec. 22, T. 07 S., R. 03 W., W.M.
 City of Salem



LEGEND: ??V-???

- L.O.W. ■ Limit of Work
- O.H.W. — Approx. Ordinary High Water line
- T.O.B. — Approximate Top of Bank line
- - - R/W - - - ODOT Right-of-Way
- P.E. — Permanent Easement
- T.E. — Temporary Easement
- ||||| Revegetation Area Below OHW
- R.B. Riparian Buffer
- R.C. Riparian Corridor
- - - FW - - - FEMA 100 Year Floodway
- #XX ⊗ Existing tree to be removed
- #XX ☼ Tree or tree massing to protect
- ☼ Tree protection fencing
- ☼ Tree protection area at root zone

- Refer to tree codes & tables on sheets FB06 - FB07.
- KEY NOTES:
- ① Riparian Corridor measured 75 feet horizontally from the from Top of Bank (T.O.B) on each side of the waterway.
 - ② Riparian Buffer measured 75' from Ordinary High Water in this location.



DOWL <small>WWW.DOWL.COM</small>	
OR22: CENTER ST BRIDGE (SALEM) PROJECT WILLAMINA-SALEM HIGHWAY MARION & POLK COUNTIES	
Designer: Grace Youngblood, LD Drafter: Grace Youngblood, LD	Reviewer: Bob Goodrich, PE Checker: Colleen Wolfe, PLA
TREE PLAN - RIVERFRONT PARK & FRONT STREET NORTH	SHEET NO. FB04

Sec. 22, T. 07 S., R. 03 W., W.M.
City of Salem

??V-???



LEGEND:
 - - - - - L.O.W. - - - - - Limit of Work
 - - - - - Tree protection fencing



 DOWL		
WWW.DOWL.COM		
OR22: CENTER ST BRIDGE (SALEM) PROJECT WILLAMINA-SALEM HIGHWAY MARION & POLK COUNTIES		
Designer: Grace Youngblood, LD	Reviewer: Bob Goodrich, PE	
Drafter: Grace Youngblood, LD	Checker: Jay Battleson, PLA	
TREE PLAN - MUSGRAVE AVENUE		SHEET NO. FB05



Todd Prager & Associates
LLC

MEMORANDUM

DATE: August 7, 2025

TO: Bob Goodrich (DOWL)

FROM: Christine Johnson, ASCA Registered Consulting Arborist® #823

RE: Center Street Bridge – Second Revision Tree Appraisal Calculations

Introduction

This memorandum is the third tree appraisal report for the Center Street Bridge Project. A meeting between DOWL and the City of Salem was held in June 2025 at which time 15 trees were identified to be reclassified from riparian trees to landscape trees. The reclassification resulted in 60 landscape trees and 60 riparian trees. Attachments 1 and 2 provide the revised appraisal calculations for individual trees based on tree type.

Reconciliation

The city of Salem requested the following 15 trees be reclassified from riparian trees to landscape trees: 7, 25, 26, 28, 77, 82, 84, 89, 106, 115, 130, 130.1, 131, 154, and 178. A summary of the appraisal approach and estimated cost is provided in Table 1.

Table 1 Revised summary of appraisal approach and estimated costs.

Tree type	Count	Appraisal Technique	Estimated Cost
Landscape	60	Trunk formula technique	\$553,306.60
Riparian	60	Cost compounding technique	\$109,736.81
Total	120		\$663,043.40 or \$663,000.00 (rounded) ¹

The total cost estimation for 120 trees is \$663,000.00. Please let me know if you have any questions about the revised calculations.

Sincerely,

Christine Johnson

¹ Final cost estimates are rounded to no more than two to three significant figures per the *Guide* (p.33).

Christine Johnson

*ASCA Registered Consulting Arborist® #823
ISA Board Certified Master Arborist® PN-8730B
ISA Tree Risk Assessment Qualified
ASCA Tree and Plant Appraisal Qualified
christine@toddprager.com |971.978.9381*

Enclosures: Attachment 1 – Second Revision, Trunk Formula Technique
 Attachment 2 – Second Revision, Cost Compounding Technique
 Attachment 3 – Assumptions and Limiting Conditions



Attachment 1 – Revised Trunk Formula Technique Calculations for Trees in Developed Areas
 (8/7/2025)

Tree No.	Tree Type	Area	Common name	Scientific name	DBH ¹ (in)	Trunk Area ² (sq.in.)	Canopy Radius ³ (ft)	Height ⁴ (ft)	Unit Cost ⁵ (\$/sq.in.)	Basic Cost ⁶	Health percent Rating ⁷	Structure percent rating ⁷	Form percent Rating ⁷	Condition rating ⁸ (weighted)	Functional Limitations ⁹	External Limitations ¹⁰	TFT Depreciated
2	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	11	94.99	10	35	\$ 68.33	\$ 6,490.33	80%	70%	70%	76%	60%	100%	\$ 2,959.59
2.1	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	6	28.26	5	20	\$ 54.45	\$ 1,538.76	80%	65%	60%	74%	60%	100%	\$ 678.59
3	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	12	113.04	15	25	\$ 54.45	\$ 6,155.03	65%	65%	60%	65%	85%	100%	\$ 3,374.49
4	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	13	132.67	18	40	\$ 54.45	\$ 7,223.61	85%	65%	70%	78%	90%	100%	\$ 5,038.47
7	landscape	Wallace Marine Park	Oregon ash	<i>Fraxinus latifolia</i>	15	176.63	18	65	\$ 42.39	\$ 7,487.13	70%	70%	60%	69%	90%	10%	\$ 464.95
12	landscape	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	12,10.6	219.8	12	40	\$ 79.62	\$ 17,500.00	60%	30%	30%	48%	20%	50%	\$ 840.00
16	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	15	176.63	20	35	\$ 54.45	\$ 9,617.23	85%	70%	70%	79%	95%	100%	\$ 7,217.73
25	landscape	Wallace Marine Park	Pacific madrone	<i>Arbutus menziesii</i>	13	132.67	12	40	\$ 14.80	\$ 1,963.44	95%	75%	75%	87%	95%	100%	\$ 1,622.78
26	landscape	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	15	176.63	15	60	\$ 79.62	\$ 14,062.88	75%	65%	65%	71%	90%	100%	\$ 8,986.18
28	landscape	Riverfront Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	24	452.16	30	75	\$ 79.62	\$ 36,000.98	100%	95%	95%	98%	95%	100%	\$ 33,516.91
30	landscape	Riverfront Park North Parking	Douglas-fir	<i>Pseudotsuga menziesii</i>	36	1017.36	20	80	\$ 14.80	\$ 15,056.93	85%	80%	80%	83%	70%	100%	\$ 8,748.08
49	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	24	452.16	25	60	\$ 68.33	\$ 30,896.09	45%	45%	40%	45%	65%	100%	\$ 8,936.69
64	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	17	226.87	25	35	\$ 68.33	\$ 15,501.69	95%	90%	90%	93%	60%	100%	\$ 8,649.94
65	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	16	200.96	25	40	\$ 68.33	\$ 13,731.60	70%	60%	50%	65%	65%	100%	\$ 5,801.60
77	landscape	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	35	961.63	20	90	\$ 35.03	\$ 33,685.72	80%	65%	60%	74%	95%	100%	\$ 23,521.06
82	landscape	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	50	1962.50	18	95	\$ 35.03	\$ 68,746.38	60%	55%	55%	58%	95%	100%	\$ 37,879.25
84	landscape	Riverfront Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	21	346.19	20	60	\$ 79.62	\$ 27,563.25	75%	65%	60%	71%	85%	100%	\$ 16,517.28
86	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	14	153.86	20	40	\$ 68.33	\$ 10,513.25	85%	90%	90%	87%	60%	100%	\$ 5,487.92
87	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	13	132.67	15	35	\$ 68.33	\$ 9,065.00	90%	90%	90%	90%	60%	100%	\$ 4,895.10
89	landscape	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	16	200.96	28	60	\$ 79.62	\$ 16,000.44	55%	55%	45%	54%	95%	100%	\$ 8,208.22
97	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	14	153.86	18	35	\$ 54.45	\$ 8,377.68	50%	55%	50%	52%	90%	100%	\$ 3,883.05
98	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	13	132.67	20	30	\$ 54.45	\$ 7,223.61	30%	35%	30%	32%	95%	100%	\$ 2,161.67
106	landscape	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	43	1451.47	20	105	\$ 35.03	\$ 50,844.82	40%	40%	40%	40%	95%	100%	\$ 19,321.03
113	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	13	132.67	18	30	\$ 68.33	\$ 9,065.00	60%	55%	50%	58%	60%	100%	\$ 3,127.42
114	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	18	254.34	20	25	\$ 68.33	\$ 17,379.05	75%	75%	70%	75%	60%	100%	\$ 7,768.44
115	landscape	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	33	854.87	12	90	\$ 35.03	\$ 29,945.92	60%	45%	40%	54%	95%	100%	\$ 15,220.01
121	landscape	Riverfront Park North Parking	Freeman maple	<i>Acer freemanii</i>	10	78.50	10	40	\$ 54.95	\$ 4,313.58	95%	85%	95%	92%	85%	50%	\$ 1,686.61
123	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	23	415.27	20	40	\$ 54.45	\$ 22,611.18	70%	80%	90%	75%	80%	100%	\$ 13,566.71
124	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	16	200.96	25	35	\$ 54.45	\$ 10,942.27	90%	85%	85%	88%	95%	100%	\$ 9,147.74
124.1	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	17	226.87	18	45	\$ 68.33	\$ 15,501.69	100%	95%	100%	99%	60%	100%	\$ 9,161.50
126	landscape	Wallace Marine Park	Oregon ash	<i>Fraxinus latifolia</i>	9	63.59	5	30	\$ 42.39	\$ 2,695.37	40%	50%	40%	43%	95%	10%	\$ 110.11
130	landscape	Wallace Marine Park	Oregon ash	<i>Fraxinus latifolia</i>	7, 6, 6	94.985	5	20	\$ 42.39	\$ 4,026.41	25%	15%	10%	21%	95%	10%	\$ 78.41
130.1	landscape	Wallace Marine Park	Oregon ash	<i>Fraxinus latifolia</i>	24	452.16	18	55	\$ 42.39	\$ 19,167.06	50%	40%	35%	46%	95%	10%	\$ 828.50
131	landscape	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	45	1589.63	28	75	\$ 79.62	\$ 126,565.94	70%	45%	55%	61%	90%	100%	\$ 69,484.70
132	landscape	Riverfront Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	24, 18	706.5	20	60	\$ 79.62	\$ 56,250.00	75%	65%	65%	71%	80%	100%	\$ 31,950.00
137	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	17	226.87	25	35	\$ 68.33	\$ 15,501.69	95%	85%	90%	92%	60%	100%	\$ 8,510.43



Attachment 1 – Revised Trunk Formula Technique Calculations for Trees in Developed Areas
 (8/7/2025)

Tree No.	Tree Type	Area	Common name	Scientific name	DBH ¹ (in)	Trunk Area ² (sq.in.)	Canopy Radius ³ (ft)	Height ⁴ (ft)	Unit Cost ⁵ (\$/sq.in.)	Basic Cost ⁶	Health percent Rating ⁷	Structure percent rating ⁷	Form percent Rating ⁷	Condition rating ⁸ (weighted)	Functional Limitations ⁹	External Limitations ¹⁰	TFT Depreciated
138	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	8	50.24	8	25	\$ 54.45	\$ 2,735.57	95%	75%	75%	87%	75%	100%	\$ 1,784.96
139	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	17	226.87	18	40	\$ 54.45	\$ 12,352.80	65%	75%	75%	69%	90%	100%	\$ 7,671.09
144	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	24	452.16	30	35	\$ 68.33	\$ 30,899.09	95%	90%	90%	93%	60%	100%	\$ 17,240.02
154	landscape	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	18	254.34	15	65	\$ 79.62	\$ 20,250.55	45%	45%	40%	45%	95%	100%	\$ 8,560.92
169	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	13	132.67	20	25	\$ 68.33	\$ 9,065.00	95%	95%	95%	95%	60%	100%	\$ 5,167.05
174	landscape	Riverfront Park North Parking	Norway maple	<i>Acer platanoides</i>	13	132.67	18	25	\$ 54.45	\$ 7,223.61	70%	65%	60%	68%	90%	100%	\$ 4,388.34
178	landscape	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	43	1451.47	15	105	\$ 35.03	\$ 50,844.82	60%	60%	60%	60%	95%	100%	\$ 28,981.55
184	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	13	132.67	18	25	\$ 68.33	\$ 9,065.00	30%	30%	20%	29%	60%	100%	\$ 1,577.31
195	landscape	Riverfront Park North Parking	northern red oak	<i>Quercus rubra</i>	18	254.34	20	50	\$ 68.33	\$ 17,379.05	95%	95%	95%	95%	65%	100%	\$ 10,731.56
211	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	17	226.87	18	50	\$ 53.82	\$ 12,210.25	95%	95%	95%	95%	10%	100%	\$ 1,159.97
212	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	19	283.39	25	50	\$ 53.82	\$ 15,252.25	60%	95%	95%	74%	95%	100%	\$ 10,722.33
213	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	16	200.96	18	35	\$ 53.82	\$ 10,816.00	100%	100%	100%	100%	90%	100%	\$ 9,734.40
214	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	11	94.99	10	15	\$ 53.82	\$ 5,112.25	60%	50%	50%	56%	95%	100%	\$ 2,719.72
215	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	15	176.63	18	30	\$ 53.82	\$ 9,506.25	95%	90%	60%	90%	80%	100%	\$ 6,844.50
216	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	13	132.67	15	25	\$ 53.82	\$ 7,140.25	70%	95%	95%	80%	95%	100%	\$ 5,426.59
217	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	16	200.96	25	50	\$ 53.82	\$ 10,816.00	95%	95%	95%	95%	95%	100%	\$ 9,761.44
218	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	18	254.34	15	35	\$ 53.82	\$ 13,689.00	95%	95%	95%	95%	80%	100%	\$ 10,403.64
219	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	12	113.04	12	25	\$ 53.82	\$ 6,084.00	80%	75%	75%	78%	80%	100%	\$ 3,796.42
220	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	22	379.94	20	45	\$ 53.82	\$ 20,449.00	65%	90%	90%	75%	85%	100%	\$ 13,036.24
222	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	6	28.26	5	25	\$ 53.82	\$ 1,521.00	65%	50%	25%	57%	90%	100%	\$ 773.43
223	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	5	19.63	5	20	\$ 53.82	\$ 1,056.25	90%	90%	90%	90%	90%	100%	\$ 855.56
224	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	5	19.63	5	20	\$ 53.82	\$ 1,056.25	55%	55%	45%	54%	90%	100%	\$ 513.34
225	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	4	12.56	5	15	\$ 53.82	\$ 676.00	60%	95%	95%	74%	90%	100%	\$ 450.22
226	landscape	Riverfront Park North Parking	American hornbeam	<i>Carpinus caroliniana</i>	8	50.24	8	25	\$ 53.82	\$ 2,704.00	60%	90%	90%	72%	85%	100%	\$ 1,654.85
\$ 553,306.60																	

¹DBH is the trunk diameter in inches at 4.5 feet above ground level, per International Society of Arboriculture (ISA) standards.
²Trunk area is the area of the trunk at 4.5 feet above ground level based on the following formula: Area = 3.14*r². For multi-stem trees, the area of each individual stem was calculated and then added together.
³Canopy radius is the average crown radius estimated in feet.
⁴Height is approximate tree height in feet.
⁵Unit cost (from the Guide, p. 58) is the cost per square inch of trunk area at 4.5 feet above ground level.
⁶Basic cost (from the Guide, p.53, 58) is the estimate of cost before any depreciation is applied.
⁷Plant Condition Ratings (from the Guide, p.44) considers health, form, and structural integrity. See descriptions below.
⁸I weighted the condition ratings for health (60%), structure (30%), and form (10%) to reflect my professional opinion about the condition of the trees.
⁹Functional Limitations (from the Guide, p.62-65) are limitations of the tree based on the planting site that will limit tree condition, limit tree development, or reduce the utility of the tree. See factors and ratings below.
¹⁰External Limitations (from the Guide, p. 64-65) are factors outside the property owner's control that will limit tree condition, limit tree development, or reduce the utility of the tree. See factors and ratings below.
 Note: 5/28/2025: Condition ratings increased for trees 12, 16, 64, 86, 87, and 225.
 Note: The following 15 trees highlighted in green were reclassified per the City of Salem's request at a June 2025 meeting: 7, 25, 25, 28, 77, 82, 84, 89, 106, 115, 130, 130, 1, 131, 154, and 178.



Attachment 2 - Revised Cost Compounding Technique Calculations for Trees in Riparian Areas (8/7/2025)

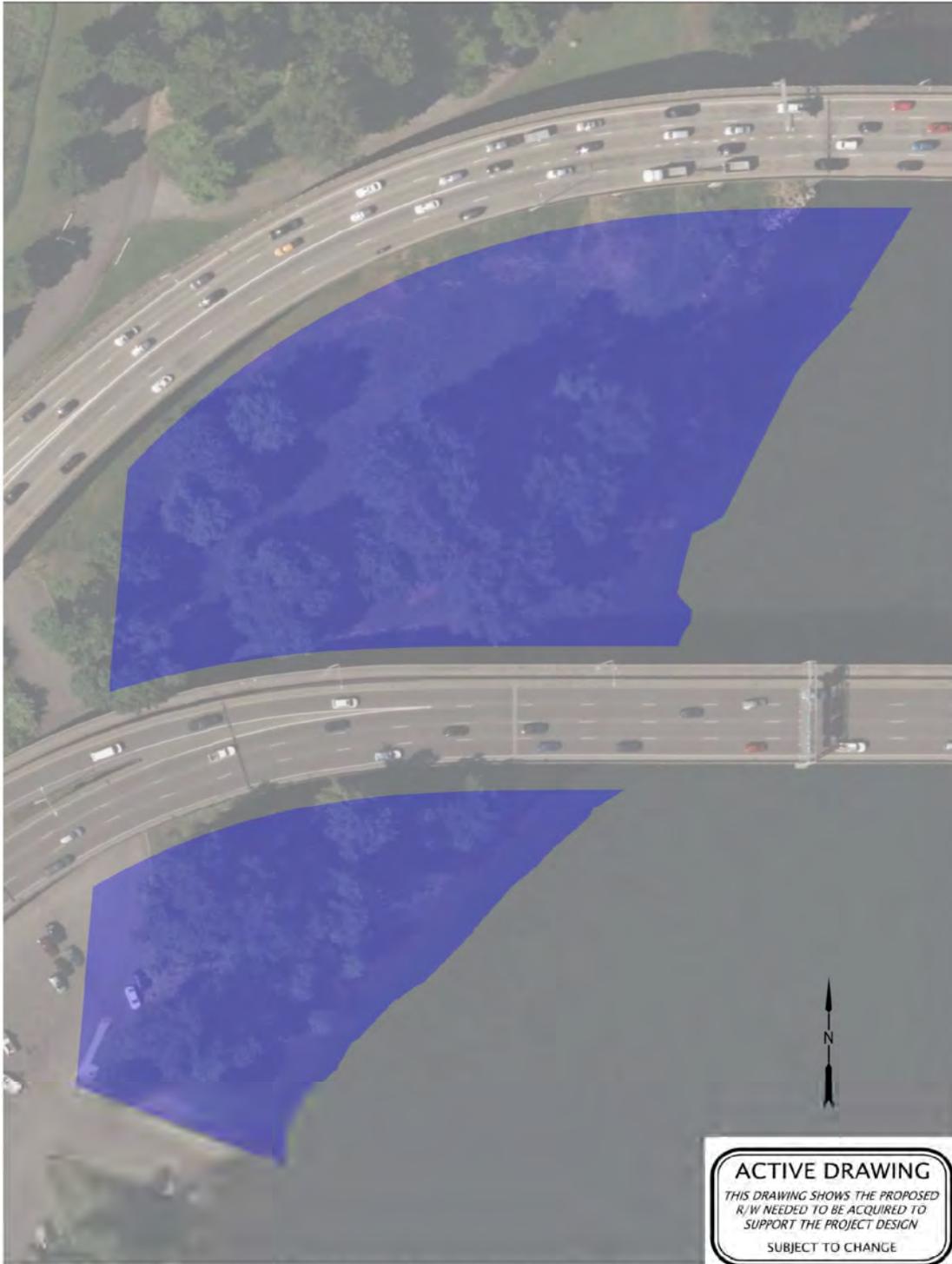
Tree No.	Tree Type	Area	Common name	Scientific name	DBH ¹ (in)	Canopy Radius ² (ft)	Height ³ (ft)	Growth rate ⁴ (ft/year)	Years to parity ⁵ (growth rate)	Years to parity ⁶ (low)	Years to parity ⁷ (high)	Tree cost ⁸	Labor and Delivery ⁹	PC ¹⁰	Interest ¹¹	Health percent Rating ¹²	Structure percent rating ¹³	Form percent Rating ¹⁴	Condition rating (weighted) ¹⁵	Functional Limitations ¹⁶	External Limitations ¹⁷	Compounded Cost (CC = PC x (1+i) ⁿ) ¹⁸ (growth rate years to parity)	Compounded Cost Depreciated (growth rate years to parity)	Compounded Cost (CC = PC x (1+i) ⁿ) ¹⁹ (low years to parity)	Compounded Cost Depreciated (low years to parity)	Compounded Cost (CC = PC x (1+i) ⁿ) ²⁰ (high years to parity)	Compounded Cost Depreciated (high years to parity)
5	riparian	Wallace Marine Park	Oregon ash	<i>Fraxinus latifolia</i>	8	8	25	3	8	15	20	\$ 208.00	\$ 811.46	\$ 1,019.46	2.26%	80%	75%	70%	78%	90%	10%	\$ 1,228.15	\$ 85.66	\$ 1,425.47	\$ 99.43	\$ 1,593.99	\$ 111.18
6	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	9	8	25	3	8	20	25	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	75%	70%	65%	73%	90%	100%	\$ 1,098.04	\$ 716.47	\$ 1,425.13	\$ 929.90	\$ 1,593.61	\$ 1,039.83
18	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	38	18	90	2.5	36	85	95	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	85%	75%	70%	81%	95%	100%	\$ 2,060.09	\$ 1,575.45	\$ 6,158.42	\$ 4,709.65	\$ 7,700.65	\$ 5,889.07
19	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	38	15	90	2.5	36	85	95	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	90%	75%	65%	83%	95%	100%	\$ 2,060.09	\$ 1,624.38	\$ 6,158.42	\$ 4,855.91	\$ 7,700.65	\$ 6,071.96
23	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	10	12	35	3	12	25	30	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	20%	15%	10%	18%	95%	100%	\$ 1,182.97	\$ 196.67	\$ 1,593.61	\$ 264.94	\$ 1,782.02	\$ 296.26
27	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	24	15	70	2.5	28	75	85	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	40%	60%	60%	48%	95%	100%	\$ 1,722.82	\$ 785.60	\$ 4,925.06	\$ 2,245.83	\$ 6,158.42	\$ 2,808.24
29	riparian	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	23	25	75	3	25	75	85	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	65%	65%	60%	65%	75%	50%	\$ 1,593.61	\$ 385.46	\$ 4,871.61	\$ 1,178.32	\$ 6,091.59	\$ 1,473.40
31	riparian	River Front Park North Parking	black cottonwood	<i>Populus trichocarpa</i>	45	25	110	2.5	44	75	85	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	60%	60%	40%	58%	70%	100%	\$ 2,463.38	\$ 1,000.13	\$ 4,925.06	\$ 1,999.57	\$ 6,158.42	\$ 2,500.32
32	riparian	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	15, 12, 12, 10, 5	30	65	3	22	35	40	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	85%	65%	50%	76%	90%	100%	\$ 1,479.21	\$ 1,005.12	\$ 1,992.70	\$ 1,354.04	\$ 2,228.28	\$ 1,514.12
37	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	30	15	55	2.5	22	50	60	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	90%	85%	85%	88%	90%	100%	\$ 1,506.62	\$ 1,193.25	\$ 2,816.87	\$ 2,230.96	\$ 3,522.29	\$ 2,789.65
52	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	27	25	60	3	20	60	70	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	75%	75%	65%	74%	95%	100%	\$ 1,425.13	\$ 1,001.87	\$ 3,484.06	\$ 2,449.29	\$ 4,356.56	\$ 3,062.66
53	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	23	15	45	3	15	50	60	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	80%	70%	60%	75%	90%	100%	\$ 1,274.46	\$ 860.26	\$ 2,786.30	\$ 1,880.75	\$ 3,484.06	\$ 2,351.74
60	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	14	20	25	3	8	30	35	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	30%	25%	15%	27%	95%	100%	\$ 1,098.04	\$ 281.65	\$ 1,782.02	\$ 457.09	\$ 1,992.70	\$ 511.13
71	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	22, 20, 19	30	70	3	23	70	80	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	70%	60%	50%	65%	85%	100%	\$ 1,535.35	\$ 848.28	\$ 4,356.56	\$ 2,407.00	\$ 5,447.55	\$ 3,009.77
72	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	63	30	90	2.5	36	85	95	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	90%	80%	70%	85%	95%	100%	\$ 2,060.09	\$ 1,663.52	\$ 6,158.42	\$ 4,972.92	\$ 7,700.65	\$ 6,218.27
73	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	52	30	90	2.5	36	80	100	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	35%	35%	35%	35%	95%	100%	\$ 2,060.09	\$ 684.98	\$ 5,507.32	\$ 1,831.18	\$ 8,611.05	\$ 2,863.17
74	riparian	Wallace Marine Park	Oregon ash	<i>Fraxinus latifolia</i>	27, 25	15	50	3	17	65	75	\$ 208.00	\$ 811.46	\$ 1,019.46	2.26%	25%	15%	10%	21%	95%	10%	\$ 1,479.57	\$ 28.81	\$ 4,357.60	\$ 84.86	\$ 5,448.85	\$ 106.12
76	riparian	Wallace Marine Park	Oregon ash	<i>Fraxinus latifolia</i>	10	5	40	3	13	30	35	\$ 208.00	\$ 811.46	\$ 1,019.46	2.26%	50%	50%	50%	50%	95%	10%	\$ 1,373.35	\$ 65.23	\$ 1,993.17	\$ 94.68	\$ 2,228.81	\$ 105.87
81	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	61	22	90	2.5	36	90	100	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	50%	50%	50%	50%	85%	100%	\$ 2,060.09	\$ 875.54	\$ 6,886.50	\$ 2,926.76	\$ 8,611.05	\$ 3,659.70
83	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	24	18	55	3	18	50	60	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	40%	35%	30%	38%	95%	100%	\$ 1,373.02	\$ 489.14	\$ 2,786.30	\$ 992.62	\$ 3,484.06	\$ 1,241.20
84.1	riparian	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	20	25	75	3	25	60	70	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	35%	35%	35%	35%	85%	100%	\$ 1,593.61	\$ 474.10	\$ 3,484.06	\$ 1,036.51	\$ 4,356.56	\$ 1,296.08
85	riparian	River Front Park North Parking	Oregon ash	<i>Fraxinus latifolia</i>	12, 11	12	50	3	17	35	40	\$ 208.00	\$ 811.46	\$ 1,019.46	2.26%	30%	20%	20%	26%	60%	10%	\$ 1,479.57	\$ 23.08	\$ 2,228.81	\$ 34.77	\$ 2,492.31	\$ 38.88
90	riparian	Wallace Marine Park	Oregon ash	<i>Fraxinus latifolia</i>	30	10	30	3	10	50	60	\$ 208.00	\$ 811.46	\$ 1,019.46	2.26%	10%	5%	5%	8%	95%	10%	\$ 1,274.76	\$ 9.69	\$ 3,116.45	\$ 23.69	\$ 3,896.89	\$ 29.62
100	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	31	20	65	3	22	70	80	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	65%	60%	50%	62%	85%	100%	\$ 1,479.21	\$ 779.54	\$ 4,356.56	\$ 2,295.91	\$ 5,447.55	\$ 2,870.86
101	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	24	22	65	3	22	60	70	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	70%	65%	45%	66%	85%	100%	\$ 1,479.21	\$ 829.84	\$ 3,484.06	\$ 1,954.56	\$ 4,356.56	\$ 2,444.03
102	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	25, 7, 10, 6, 8	35	55	3	18	55	65	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	85%	75%	60%	80%	95%	100%	\$ 1,373.02	\$ 1,036.98	\$ 3,115.71	\$ 2,353.14	\$ 3,895.96	\$ 2,942.43
103	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	33	15	75	2.5	30	70	80	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	30%	30%	20%	29%	95%	100%	\$ 1,801.57	\$ 496.33	\$ 4,404.36	\$ 1,213.40	\$ 5,507.32	\$ 1,517.27
104	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	22	15	55	2.5	22	50	60	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	60%	50%	50%	56%	95%	100%	\$ 1,506.62	\$ 801.52	\$ 2,816.87	\$ 1,498.57	\$ 3,522.29	\$ 1,873.86
105	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	10	10	15	2.5	6	20	25	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	65%	50%	25%	57%	95%	100%	\$ 1,053.69	\$ 565.57	\$ 1,440.76	\$ 773.33	\$ 1,611.10	\$ 864.76
109	riparian	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	14, 14	20	50	3	17	45	50	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	60%	45%	45%	54%	85%	100%	\$ 1,322.82	\$ 607.18	\$ 2,491.72	\$ 1,143.70	\$ 2,786.30	\$ 1,278.91
110	riparian	River Front Park North Parking	Oregon ash	<i>Fraxinus latifolia</i>	19, 16	20	55	3	18	45	50	\$ 208.00	\$ 811.46	\$ 1,019.46	2.26%	35%	20%	20%	29%	70%	10%	\$ 1,535.71	\$ 31.17	\$ 2,786.96	\$ 56.58	\$ 3,116.45	\$ 63.26
111	riparian	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	16, 14, 13	20	50	3	17	35	40	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	70%	65%	60%	68%	90%	100%	\$ 1,322.82	\$ 803.61	\$ 1,992.70	\$ 1,210.56	\$ 2,228.28	\$ 1,353.68
111.1	riparian	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	14	12	45	3	15	30	35	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	75%	70%	60%	72%	90%	100%	\$ 1,274.46	\$ 825.85	\$ 1,782.02	\$ 1,154.75	\$ 1,992.70	\$ 1,291.27
116	riparian	Wallace Marine Park	Oregon ash	<i>Fraxinus latifolia</i>	18, 10	18	50	3	17	50	55	\$ 208.00	\$ 811.46	\$ 1,019.46	2.26%	25%	20%	20%	23%	95%	10%	\$ 1,479.56	\$ 32.33	\$ 3,116.45	\$ 68.09	\$ 3,484.89	\$ 76.14
125	riparian	Wallace Marine Park	black cottonwood	<i>Populus trichocarpa</i>	14	10	40	2.5	16	35	40	\$ 110.00	\$ 811.46	\$ 921.46	2.26%	75%	60%	50%	68%	95%	100%	\$ 1,317.56	\$ 851.14	\$ 2,014.56	\$ 1,301.40	\$ 2,252.73	\$ 1,455.26
129	riparian	Wallace Marine Park	bigleaf maple	<i>Acer macrophyllum</i>	19	20	55	3	18	50	55	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	50%	55%	50%	52%	95%	100%	\$ 1,373.02	\$ 671.75	\$ 2,786.30	\$ 1,363.20	\$ 3,115.71	\$ 1,524.36
133	riparian	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	20	10	30	3	10	50	60	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	5%	5%	5%	5%	95%	100%	\$ 1,139.72	\$ 54.14	\$ 2,786.30	\$ 132.35	\$ 3,484.06	\$ 165.49
134	riparian	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	15	15	40	3	13	45	50	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	55%	50%	40%	52%	90%	100%	\$ 1,227.86	\$ 574.64	\$ 2,491.72	\$ 1,166.12	\$ 2,786.30	\$ 1,303.99
135	riparian	River Front Park North Parking	bigleaf maple	<i>Acer macrophyllum</i>	17	18	50	3	17	60	65	\$ 100.00	\$ 811.46	\$ 911.46	2.26%	65%	65%	60%									

Attachment 3 - Assumptions and Limiting Conditions

1. Any legal description provided to the consultant is assumed to be correct.
2. It is assumed that this property is not in violation of any codes, statutes, ordinances, or other governmental regulations beyond that of the penalty of illegal removal of a tree.
3. The consultant is not responsible for information gathered from others involved in various activities pertaining to this project. Care has been taken to obtain information from reliable sources.
4. Loss or alteration of any part of this delivered report invalidates the entire report.
5. Drawings and information contained in this report may not be to scale and are intended to be used as display points of reference only.
6. The consultant's role is only to make recommendations. Inaction on the part of those receiving the report is not the responsibility of the consultant.
7. The scope of work for this report:
 - a. Provide revised appraisal calculations for the Center Street Bridge project based on discussions between DOWL and the City of Salem.

Exhibit F

SW 1/4 SEC. 22, T. 7 S., R. 3 W., W.M.



ACTIVE DRAWING
 THIS DRAWING SHOWS THE PROPOSED
 R/W NEEDED TO BE ACQUIRED TO
 SUPPORT THE PROJECT DESIGN
 SUBJECT TO CHANGE

OREGON DEPARTMENT OF TRANSPORTATION  RIGHT OF WAY ENGINEERING SKETCH MAP	SECTION	OR22: CENTER ST BRIDGE (SALEM) PROJECT	SCALE	1" = 60'
	HIGHWAY	WILLAMINA-SALEM HIGHWAY	DATE	OCTOBER, 2025
	COUNTY	MARION & POLK COUNTIES	FILE	9970-006
	PURPOSE	RIGHT OF WAY ACQUISITION		SEE DRAWING RW9970M